



595 Main Street, Aumsville, OR 97325
Office: (503) 749-2030 FAX: (503) 749-1852
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PUBLIC NOTICE

AUMSVILLE PLANNING COMMISSION MEETING

Aumsville Community Center
555 Main Street, Aumsville, OR

THURSDAY, April 20th, 2023
AGENDA

CALL TO ORDER: 6:00 pm

VISITORS: Visitors are welcome to attend in-person or via Zoom. For information about how to attend the meeting online, please email hbrewster@aumsville.us to request log in instructions.

APPROVAL OF MINUTES: March 16th, 2023 APC Meeting Minutes

UNFINISHED BUSINESS: NONE

NEW BUSINESS: Public Hearing

1) Site Development Review File #SDR 23-01/ Public Works Shop

Open Public Hearing

1. Declaration of Interests

2. Preliminary Matters

3. Opening Statement

4. Staff Report

5. Applicant Testimony

6. Proponent(s) Testimony*

7. Opponent(s) Testimony*

8. Governmental Agencies

9. General Testimony

10. Questions from the Public

11. Questions from the Commission

12. Applicant Summary

13. Staff Summary

14. Close or Continue the Hearing

15. Deliberation

2) Parks Master Plan Amendments

Open Public Hearing

1. Declaration of Interests

2. Preliminary Matters

3. Opening Statement

4. Staff Report

5. Applicant Testimony

6. Proponent(s) Testimony*

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11. Questions from the Commission

12. Applicant Summary

13. Staff Summary

14. Close or Continue the Hearing

15. Deliberation

CORRESPONDENCE: NONE

OTHER BUSINESS: NONE

FUTURE AGENDA ITEMS: TBD

NEXT MEETING: TBD

ADJOURNMENT

The City of Aumsville does not and shall not; discriminate on the basis of race, color, religion (creed), gender, gender expression, age, national origin (ancestry), disability, marital status, sexual orientation, or military status, in any of its activities or operations. Anyone wishing to speak on an agenda item should ask to be recognized by the Mayor or Chair at the beginning of that agenda item. The meeting location is accessible to persons with disabilities. A request for an interpreter for the hearing impaired, or for other accommodations for persons with disabilities must be made at least 48 hours prior to the meeting. Please call (503) 749-2030 and leave a message or Oregon Relay Service for TDD at (800) 735-2900.



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AUMSVILLE PLANNING COMMISSION MEETING MINUTES

Thursday, March 16th, 2023

The meeting was called to order at 6:00 PM by Commission Chair Chris Chytka. Vice Commission Chair Jennifer Molan, Commissioners Courtney Brennan, Molly Hatfield. Absent: Commissioner Tom Youmans. Staff present: City Administrator Ron Harding (CA Harding) and Office Specialist Hayley Brewster.

APPROVAL OF MINUTES: December 1st, 2022

Commissioner Hatfield moved to approve the minutes from the December 1st, 2022, meeting. Chair Chytka seconded the motion. Voting in favor were Commissioners Brennan, Chytka, Hatfield, and Molan. The motion passed unanimously.

NEW BUSINESS:

1. Commissioner Chair Chris Chytka and Commissioner Jennifer Molan Oath of Office

CA Harding, as an officer of the city, administered the Oath of Office to both Planning Commission members.

2. Election of Chair and Vice Chair

Chair Chytka began the election by stating he would like to continue with the Aumsville Planning Commission as only a commissioner, then opened nominations for Commission Chair. Commissioner Hatfield nominated Vice Chair Molan for the Chair position. Vice Chair Molan accepted the nomination. Chair Chytka called for further nominations, then closed the nominations. Chair Chytka called for a vote. Voting in favor were Commissioners Brennan, Chytka, and Hatfield. The vote passed unanimously.

Chair Molan opened nominations for the Vice Chair position. Commissioner Chytka nominated Commissioner Brennan. Commissioner Brennan accepted the nomination. Chair Molan then called for further nominations, then closed the nominations. Chair Molan called for a vote. Voting in favor were Commissioners Chytka, Hatfield, and Molan. The vote passed unanimously.

CORRESPONDENCE: None.

WORK SESSION: None.

OTHER BUSINESS:



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CA Harding started by giving an update on future projects being presented to the commission. He explained the next commission meeting would include updates to the Parks Master Plan. He spoke on the master plans that are in the process of being developed for the Bishop Park. He added that Consultant Dave Kinney, will be presenting at Public Hearing for the Parks Master Plan.

Chair Molan asked if the only opportunity for public comment on the park would be at the next meeting. CA Harding stated there will be many opportunities for the public to make comment on the park design as plans get updated with needs analysis from the county and state. He continued to explain the open houses the city has hosted and the presentations to the local schools that the parks committee have done.

The next Public Hearing that CA Harding went on to explain about was the Aumsville Public Works Facility. Under 21.039 the development ordinance states that public projects are not required to go through site development review approval or criteria unless the city administrator deems there may be a public impact that may need mitigated. He goes on to say that he does not foresee that being the reason to bring it through site development review.

CA Harding explained that staff wanted the Public Works Facility to be an example to the community in what the city wants a project to look like. He said they could expect to see elevated drawings, staff reports and supplemental materials for the project.

CA Harding continues that the commission should expect development ordinance recommendations for changes based on development patterns the city is seeing. He explains there are some potential applicants as well as the city engineer that have made comment that the parking stall standards for Aumsville could be smaller. The city of Aumsville requires a 10x20 feet, and the feedback given is that local communities are using 9x18 feet is standard.

The Interchange Development Zone is another area that CA Harding stated may need updating to better fit with what the city is looking for in the future.

CA Harding prepares the commission that there are a lot of big projects coming up within the year.



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NEXT MEETING: April 20th, 2023

ADJOURNMENT: 6:28 PM without objection.

Planning Chair

AUMSVILLE PLANNING COMMISSION

STAFF REPORT

REPORT DATE: April 13, 2023

HEARING DATE: April 20, 2023

FILE NUMBER: **Site Development Review #SDR 23-01 “Public Works Shop”**

APPLICANT/OWNER: City of Aumsville

LOCATION: 965 & 955 Olney Street in Aumsville, Oregon

TAX LOT(s): 082W25A000300, 000400, and 000200

ZONE: P – Public Zone

REQUEST: The City of Aumsville proposes to construct an 8,000 SF warehouse shop building with mezzanine to be used by the Public Works Department to securely store equipment and materials, with some office and meeting space. Related site improvements will include two driveways onto Olney Street, parking lot, landscaping, and a gated entrance to the wastewater ponds to the north.

Note: The City of Aumsville will be processing a subsequent Property Line Adjustment (PLA) to align the subject property boundaries with this site plan. The City desires to separate the proposed shop building from the wastewater ponds.

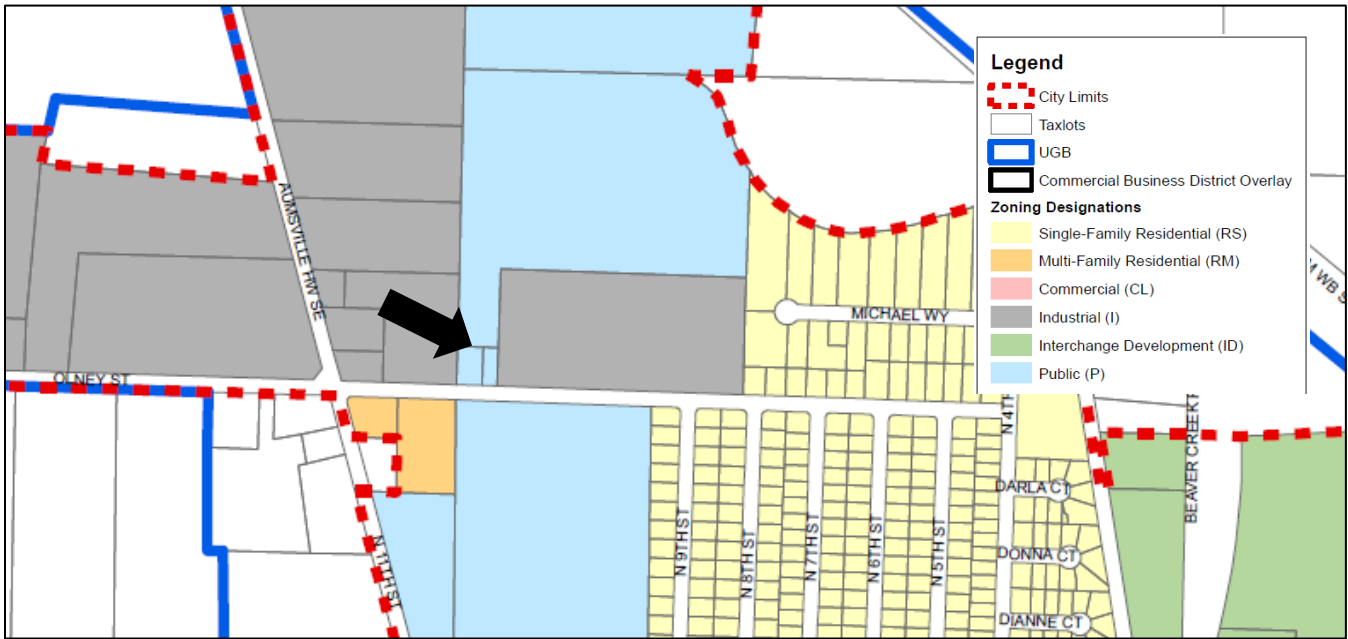
CRITERIA: Aumsville Development Ordinance (ADO) Sections: 9.00 P – Public Zone, 18.00 Off-Street Parking and Loading, 21.00 Site Development Review, 22.00 Supplementary Zone Regulations.

EXHIBITS: Example A - Application package

PROCEDURE: A Site Development Review is a Type II action. A Type II action is a quasi-judicial review in which the Planning Commission applies a mix of objective and subjective standards that allow considerable discretion. Public notice and a public hearing are provided according to Section 12.03. Appeal of a Type II decision is to the Aumsville City Council.

I. MAPS

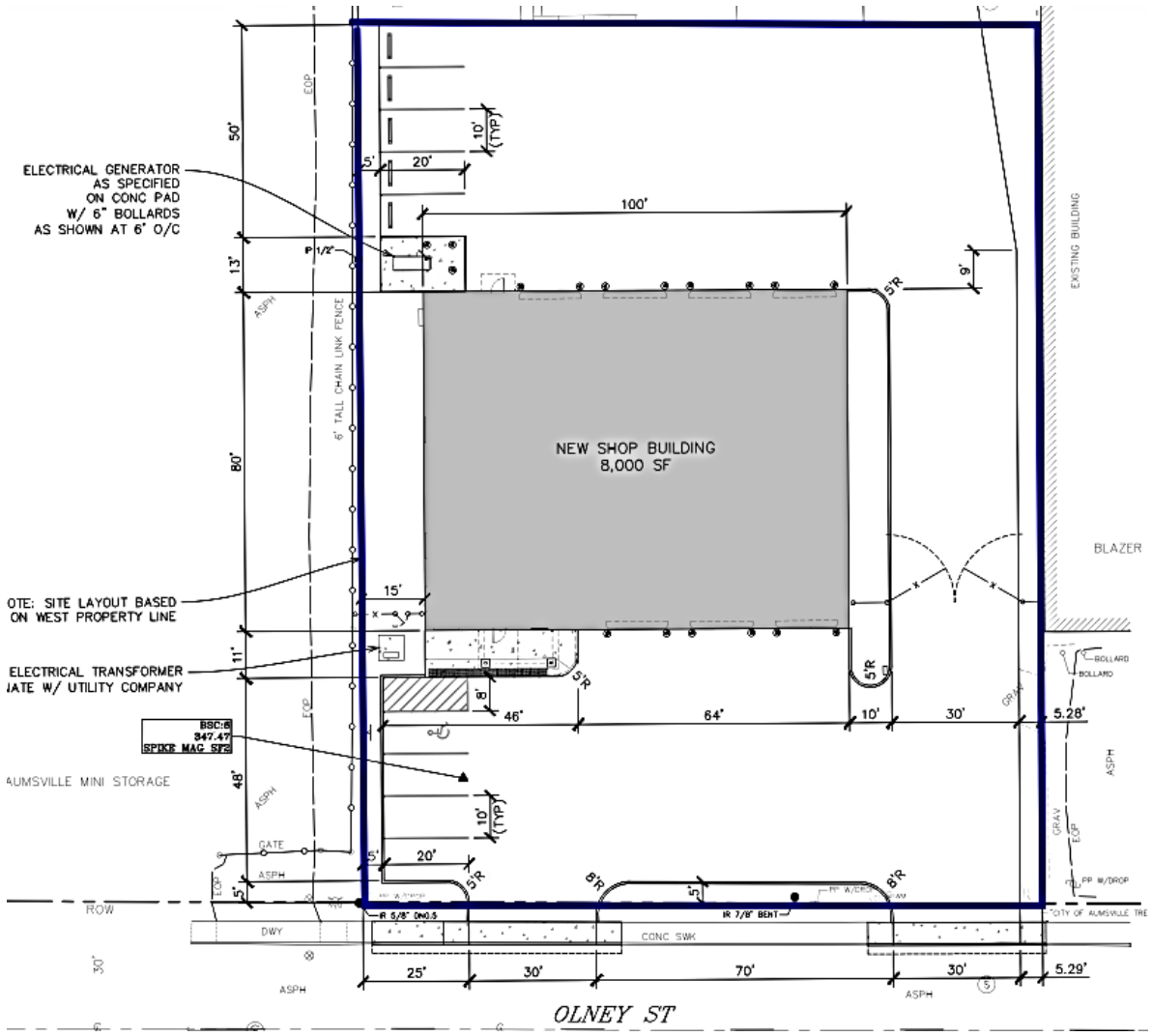
A. VICINITY & ZONE MAP (cropped to zoom):



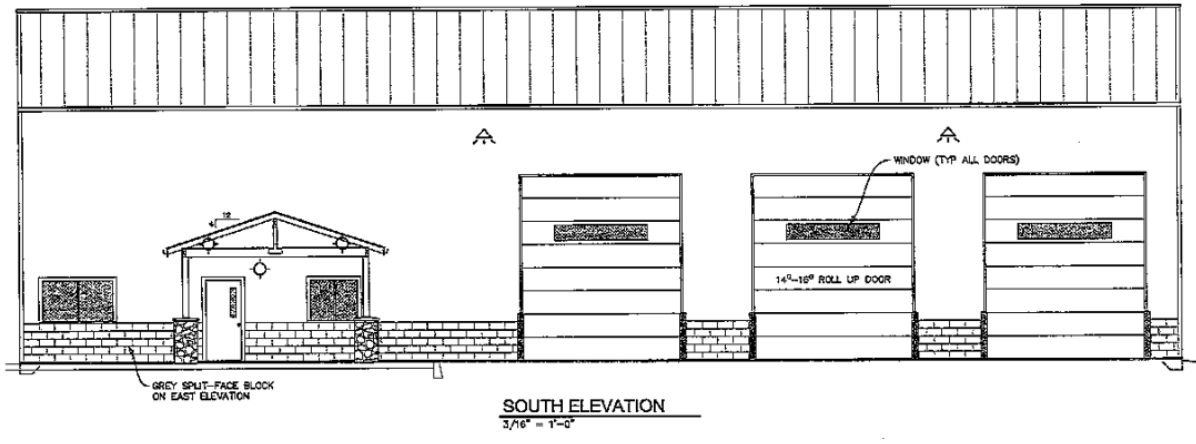
B. AERIAL IMAGE (Source Marion County GIS):



C. PROPOSED SITE PLAN (cropped to zoom):



D. SOUTH ELEVATION, FACING OLNEY STREET



II. REVIEW CRITERIA & FINDINGS OF FACT

The purpose of this section is to support the Planning Commission in their analysis of the submitted land use application. Decision criteria are found in the Aumsville Development Ordinance (ADO). Applicable sections are provided below, along with staff findings.

SECTION 21.00 SITE DEVELOPMENT REVIEW

21.03 Applicability of Provisions:

(A) Site development review shall be required for all new developments and modifications of existing developments except: ...

9. Improvements by city departments on land zoned Public; except when the city administrator determines the proposed improvement has potential impacts, such as traffic, lighting, and noise, such that the public review embodied in the site development review process is needed to help determine appropriate mitigation.

FINDINGS: Site Development Reviews are generally required for all new developments. The proposed development is submitted by a City department on land zoned Public. Pursuant to Section 21.03(A)(9) provided above, this Site Development Review is not required, but it has been requested by the City Administrator.

21.06 Site Development Review – Approval Criteria: The review authority shall make written findings with respect to all of the following criteria when approving, approving with conditions, or denying an application:

(A) The application is complete, as determined in accordance with Section 12 and Section 21.05;

FINDINGS: This Site Development Review application was deemed complete for the purposes of scheduling the Planning Commission public hearing and mailing public notice. Sufficient details were provided in the plan set to support findings in response to the decision criteria.

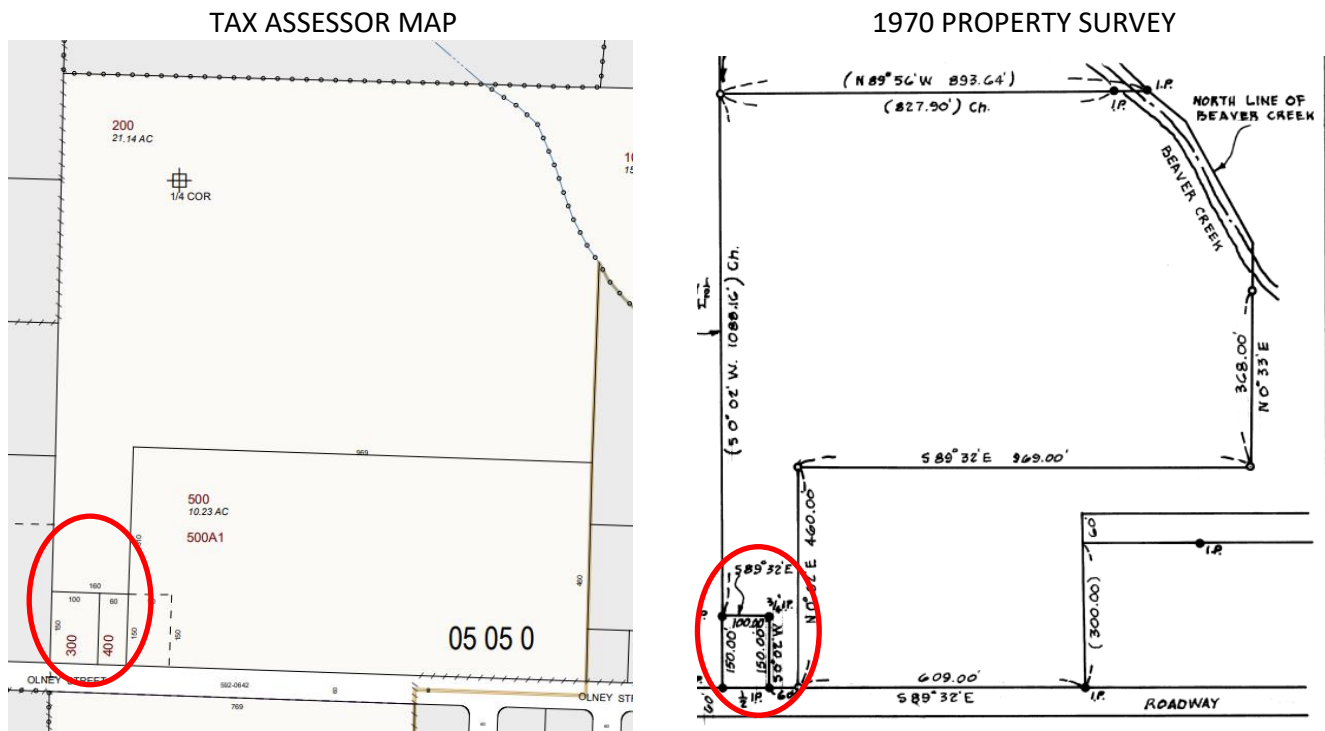
(B) The application complies with all of the applicable provisions of the underlying land use zone, including: building and yard setbacks, lot area and dimensions, lot coverage, and other special standards as may be required for certain land uses;

FINDINGS: The subject properties are zoned P-Public. The standards for development in the Public zone are provided in Section 9.00 of the Aumsville Development Ordinance (ADO). The purpose of this zone is “to recognize existing public land uses and provide for the development of public services.” The proposed use of a shop building containing warehouse storage space and office space for the City Public Works Department is consistent with ADO 9.02(C) which lists governmental and public facility buildings as outright permitted uses. Pursuant to ADO 9.04, there is no minimum lot area, minimum lot width, or maximum lot coverage.

ADO 9.08 allows for a maximum height of 50 feet in the Public zone. The submitted shop elevations show a building height well below the maximum. These criteria are met.

Pursuant to ADO 9.07, the minimum building setback required is ten (10) feet on any yard abutting a residential zone. A portion of the larger subject property (referenced as tax lot 200) does directly abut residential properties to the east, however the City's subsequent PLA application will separate the shop building site plan from the wastewater ponds to the north, and therefore the portion abutting residential. Setbacks exceeding 10 feet are provided on all sides of the proposed shop building.

Regarding setbacks, it is important to note that the proposed shop building is located straddling an existing property boundary. While the subject properties are composed of three tax lots 200, 300, and 400, there appear to be two underlying legal parcels of land. Tax lots are for tax purposes only, and can be easily combined at the County, however, an approved Property Line Adjustment (PLA) application at the City will be required to move the legal property boundary out from under the building. City staff plan to adjust the boundary to match the site plan boundary shown above. The PLA will be a separate application, and it is a staff-level decision. PLAs are generally required to be recorded as a replat in the form of a Partition Plat by the Marion County Surveyor. The cropped side-by-side maps below show the existing boundaries. Staff consulted Marion County Building Department regarding the ability to begin construction prior to the PLA completion. Building Department staff confirmed that they could begin structural review and issue building permits if there was an active PLA application at the City. The Building Department will hold the final occupancy until the PLA is recorded. A recommended condition of approval requires the PLA to be recorded prior to the final certificate of occupancy for the new shop building. These criteria can be met by the applicant through compliance with the recommended conditions of approval.



(C) Characteristics of adjoining and surrounding uses;

FINDINGS: A zone map is included above. Abutting properties to the east and west are generally zoned and developed for industrial uses. Directly to the north are the City's wastewater ponds. The proposed shop will

be compatible with the storage units and industrial buildings along the north side of Olney Street. To the south is the Aumsville Elementary School campus. To the southwest is a multi-family residential development. The ADO defines “abut” to mean contiguous, and specifically does not apply to properties or land uses separated by a public right-of-way. For this reason, no frontage screening is required for the purposes of screening dissimilar uses. A landscaping strip is shown along the subject property frontage, to be installed prior to occupancy. This criterion is met.

(D) The application complies with the supplementary zone regulations contained in Sections 18, 19, and 22;

FINDINGS: ADO 18.00 addresses Off-Street Parking and Loading. The ADO states that “off-street vehicular parking areas, off-street loading areas, and bicycle parking facilities shall be provided and maintained for new buildings.” The proposed shop building will provide primarily warehouse/storage space for Public Works equipment, machinery, materials, and supplies. The building will also provide some office and meeting spaces. With multiple uses under one roof, the following ratios may be referenced, as provided in ADO 18.05 Off-Street Automobile and Bicycle Parking Requirements:

Land Use Activity	Vehicle Spaces	Bicycle Spaces	Measurement
Municipal and government	1 space per 600 SF plus 1 space per 2 employees	3	Per 10 vehicle spaces
Warehousing and storage distribution terminals	1 space per 3,000 SF	6	Per 30 vehicles space

Within the 8,000 SF building footprint, 1,835 SF are proposed for office and meeting space. To calculate the total parking count of the combined uses within the building, $1,835 \text{ SF} / 600 \text{ SF} = 3.06$ spaces plus 2 spaces to cover the 4 employee workspaces planned = 5.06 spaces. For the storage areas $6,165 \text{ SF} \text{ warehouse} + 1,844 \text{ SF} \text{ mezzanine storage} = 8,009 \text{ SF} / 3,000 \text{ SF} = 2.67$ spaces = 7.73 spaces = 8 vehicle spaces total required. The submitted site plan shows nine (9) parking spaces are proposed between the front and back of the building, including one ADA space. The vehicle spaces are shown to be 10 ft x 20 ft, and the entire driving, parking, maneuvering area is proposed to be paved, as required. These criteria are met.

ADO 18.06 provides the Off-Street Loading Requirements for commercial and industrial buildings. This section does not specifically address public governmental buildings. The application package includes a floor plan and side elevations which show roll-up doors on both the north and south sides of the building. No formal loading zone is proposed with the shop building. ADO 18.07 allows exceptions to loading requirements by the Planning Commission for buildings that are not of a kind requiring loading, unloading, or delivery by commercial trucks or delivery vehicles.

ADO 18.08 Parking and Loading Development Standards require screening of parking areas adjacent to a residential zone. The ADO definitions section does not define “adjacent,” but the term “abut” was previously discussed not to include properties or uses separated by a public right of way. Because there is existing multi-family residential to the southwest of the subject property across Olney Street, some screening is recommended through the installation of frontage landscaping. This section also requires any lighting of a parking area to be directed away from the residential use. Both of these criteria are included as recommended conditions of approval.

Three bicycle parking spaces are recommended. ADO 18.11 Bicycle Parking contains standard dimensions for bicycle parking. Compliance with this section is included as a standard condition of approval.

ADO 19.00 addresses Sign Standards. No signs were proposed or reviewed with this Site Development Review application. A related condition of approval recommends future signage comply with ADO 19.00 Sign Standards.

ADO 22.00 contains Supplementary Zone Regulations, some of which apply to the submitted site plan.

Pursuant to ADO 22.01, Clear Vision Areas shall be maintained at the intersection of driveways and the public street. Maintenance of the clear vision area is included as a standard condition of approval. Related ADO 22.03 contains standards for fences, hedges, and walls.

ADO 22.08 Outside Storage prohibits the outdoor storage of materials, parts, and equipment unless the materials were approved through a site development review with sufficient screening. No outdoor storage is proposed for the portion of property submitted for Site Development Review and subsequent PLA.

The 2010 Aumsville Transportation System Plan (TSP) shows Olney Street as a Collector street on both the Existing and Recommended Future Functional Classification Street System maps. ADO 22.09 Access Spacing Standards require 100 feet access spacing between private access points on a Collector Street. The submitted site plan shows 70 ft spacing between the edges of the two 30-foot wide driveways. Access spacing distance is measured from centerline to centerline, so the proposed spacing meets the standard at 100 feet. There is a nearby existing driveway to the west serving the storage unit development, however that is an emergency access only driveway, and does not generate regular traffic which could result in turning conflicts. This criterion is met as submitted.

ADO 22.11 requires a transportation impact analysis (TIA) when a development generates 25 or more peak hour trips, or 250 or more daily trips. Based upon staff's description of how the development will be used, traffic to this site is expected to be less than either of those thresholds.

ADO 23.00 addresses Landscaping Design. This section states that "All construction, expansion, or redevelopment of structures or parking lots for commercial, institutional, or industrial uses shall be subject to the landscaping requirements of this section." ADO 23.03(A)(4) states that "a minimum of 20% of the gross land area shall be devoted to landscaping in public uses such as schools and churches." While the underlying zoning is Public zone, the proposed use may be more similar to a commercial use (5 % required) or an industrial use (10% required), as it is not a location where the public congregates. This section of code refers to "use" rather than "zone," which may grant the Planning Commission the ability to interpret the appropriate landscaping percentage for the proposed development that does not anticipate public visitors. The amount of landscaping proposed was not provided with the initial plan set. Because the project is bordered on both sides by industrial uses and zones, and because the warehouse shop building is industrial in nature, Staff recommends continuing the industrial landscape provision of 10% across the subject property.

To increase the amount of landscaping on the subject property, staff recommends reducing the number of parking spaces in front of the building by one. Increasing the depth of the frontage landscaping will enhance screening along the frontage of the development. This would be consistent with ADO 23.05

Screening and buffering 15-foot depth landscaping strip method, as well as ADO 23.06 Commercial, Industrial, Institutional Streetscapes, which requires trees along street frontages for certain developments. Staff has included a recommended condition of approval requiring a landscape plan prior to building permit and landscape installation prior to final occupancy. These criteria can be met through compliance with the recommended conditions of approval.

(E) Conditions required as part of a land division (Section 20), conditional uses (Section 14), or other approval shall be met;

FINDINGS: There are no known prior related land use conditions of approval. This criterion does not apply.

(F) Provision for adequate noise and/or visual buffering from non-compatible uses;

FINDINGS: ADO 23.05 details required Screening and Buffering. *“Screening shall be used to eliminate or reduce the visual impacts of the following uses and are two separate issues for the purpose of meeting the requirements: ... 3. Service areas and facilities, including garbage and waste disposal containers, recycling bins, and loading areas... 5. At and above-grade electrical and mechanical equipment, such as transformers, heat pumps, and air conditioners.”*

As previously addressed, staff recommends increasing the depth of the frontage landscaping strip to meet the minimum landscaping percentage on site. This will also add some screening to the frontage facing the multi-family development to the southwest. A recommended condition of approval addresses service areas and above-grade equipment. This criterion can be met through compliance with the recommended conditions of approval.

(G) Drainage and erosion control needs;

FINDINGS: The submitted site plan shows storm water relayed via a new drainage swale to an existing facility labeled “storm discharge to existing culvert” into “10-inch PVC” to the north-northwest of the project. Storm water control is the purview of the City Engineer. Staff defers to the City Engineer to ensure that the storm water facilities are sufficiently sized and designed to service the new impervious surfaces of both the parking lot and shop building. This criterion can be met.

(H) Public health and safety factors;

FINDINGS: No public health or safety issues have been identified. The purpose of this project is primarily to secure public resources, materials, and equipment against theft, weathering, and vandalism. The project will also secure the primary access point to the City’s wastewater ponds by installing a locking gate to the large properties north of the subject property, taking access through this property.

(I) Problems that may arise due to development within potential hazard area;

FINDINGS: The subject property is not located within a Special Flood Hazard Area. No other known hazards have been identified.

(J) Retention of existing natural features on site; and

FINDINGS: There are no significant natural features on the subject property.

(K) The application complies with the city's adopted public works design standards for any public improvement required by the development. For example, where streets are required the application shall comply with Division 2, Streets; for storm water improvements, the application shall comply with Division 3, Stormwater Management.

FINDINGS: The submitted site plan proposes to maintain the existing sidewalk along the frontage of the property, with the addition of two new 30-foot wide driveways taking access from the Olney Street public right-of-way. This is an unusual land use application in which the City of Aumsville is the applicant. The City Engineer has prepared the site plan in coordination with Public Works staff. A standard condition of approval requires compliance with the City's adopted Public Works Design Standards for any related public improvements.

Related to site access, Staff has included a recommended condition of approval requiring an access easement be recorded with the subsequent PLA, granted by the subject property to benefit the wastewater ponds properties to the north. This ensures the wastewater ponds will not be landlocked with the recording of the proposed PLA.

This criterion can be met through compliance with the recommended conditions of approval.

(L) The application complies with the most recent Oregon Fire Code, including Appendix C and Appendix D.

FINDINGS: Fire Department review of a site plan typically pertains to access, water supply, fire suppression systems, and addressing. Site plan approval by the Aumsville Fire Department is included as a condition of approval prior to building permits. Staff reached out to the Department for comments. Any additional comments received prior to the public hearing on this file will be provided to the Planning Commission. This standard can be met through compliance with the recommended conditions of approval.

III. CONCLUSION AND RECOMMENDATION

Based on the above findings, staff recommends Planning Commission approval of Site Development Review file # SDR 23-01, subject to the following conditions of approval:

1. Approval. Site development review approval shall be effective for a period of two (2) years from the date of approval. Site development review approval shall be voided immediately if development on the site is a departure from the approved plan or development use.
2. Property Line Adjustment. The City shall initiate a Property Line Adjustment (PLA) application for the subject property prior to building permits. The PLA shall be recorded prior to final occupancy of the shop.
3. Access Easement. Subsequent Property Line Adjustment shall record an access easement granted by the subject property benefitting the wastewater ponds propert(ies) to the north.

4. Fire Department Approval. Fire Department shall approve the final site plan prior to building permits.
5. Public Facilities. Public facility work shall be according to the Public Works Design and Construction Standards. The City Engineer may make changes or supplements to the Public Works Design and Construction Standards consistent with the application of engineering principles to the conditions in the city.
6. Private Utilities. In accordance with the City's Design Standards, all private utilities serving the development shall be located underground.
7. Stormwater. Drainage calculations and pipe sizing shall be the responsibility of the City Engineer to serve the new impervious surface on site.
8. Landscaping. A landscaping plan showing a minimum of 10% gross site area planned for landscaping consistent with ADO 23.00 shall be submitted prior to building permit. Landscaping shall be installed prior to final occupancy of the shop building.
9. Clear Vision Areas. Pursuant to ADO 22.01, property owner shall at all times maintain the clear vision areas along both proposed driveways' intersection with the Olney Street right-of-way.
10. Bicycle Parking. Pursuant to ADO 18.11, a minimum of three (3) parking spaces shall be installed prior to final occupancy of the shop.
11. Screening. Pursuant to ADO 23.05, screening shall be used to eliminate or reduce the visual impacts of Service areas and facilities, including garbage and waste disposal containers, as well as above-grade electrical and mechanical equipment.
12. Fences, hedges, and walls. Property owner shall maintain compliance with ADO 22.03 standards for fences, hedges, and walls.
13. Outdoor storage. No outdoor storage is proposed or reviewed for the subject property.
14. Lighting. Any illumination of a parking or loading area shall be so arranged as to be directed entirely onto the loading or parking area, shall be deflected away from residential use, and shall not cast a glare or reflection onto moving vehicles or a public right-of-way.
15. Signs. No signs were proposed or reviewed with this Site Development Review application. All future signs on subject property shall comply with ADO 19.00 Sign Standards.
16. Modifications. Minor modifications of an approved plan shall be processed as a Type I procedure (See also Section 21.09(C)(3)(d)). Major modifications, as defined in Section 1, shall be processed as a Type II procedure and shall require Site Development Review.

IV. PLANNING COMMISSION OPTIONS

- A. Motion to APPROVE Site Development Review file #SDR 23-01 as submitted, and adopt the findings and recommended conditions of approval provided in the staff report to the Planning Commission.
- B. Motion to APPROVE Site Development Review file #SDR 23-01, and adopt the findings and recommended conditions of approval provided in the staff report to the Planning Commission, AS MODIFIED by the Planning Commission, stating those revisions.
- C. Motion to DENY Site Development Review file # SDR 23-01, and providing revised findings in support of the denial.
- D. Motion to CONTINUE the public hearing for Site Development Review file #SDR 23-01, to a date and time certain, stating the specific information needed to allow for a future decision.



EXHIBIT A

595 Main St. Aumsville, Oregon 97325
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 www.aumsville.us

I acknowledge that if the actual cost to process and review the application by contracted or full-time staff exceeds the application fee, the applicant will be responsible for the excess charges. The fee would be considered a deposit toward the actual cost.

FOR OFFICE USE ONLY	
Filing fee: \$1250	
Date Rec'd/Fee Pd	
Receipt No.	

SITE DEVELOPMENT REVIEW APPLICATION TYPE II ACTION

Site Address/Location: 965 ONley street

Applicant: City of Aumsville

Address: 595 main street Aumsville Oregon 97325

Phone: 503-749-2030 Cell: _____

Contact Email: Soslie@aumsville.us

Property Owner (if different than applicant): Same

Address: _____

Phone: _____ Cell: _____

Contact Email: _____

We, the undersigned property owner(s) or authorized agent(s), request a Site Development Review to allow the construction/expansion of (short description):

Build an additional building for public works shop up to 8000 sq ft

_____ as permitted by Section No. _____ of the **Aumsville**

Development Ordinance for property legally described as: Tax lot 082W25A000300

For the following reason: _____

1. Current Information

- a) Address and general location of the property: 965 Onley street
- b) Current zoning: Public zone
- c) Total current area (square feet): 14810 sq ft
- d) Dimensions of the current property: 150' x 100'
- e) Current use of the property: Public works facility
- f) Number of existing structures and general description: Vacant lot
- g) Is this area served by curbs and sidewalks? **YES** **NO**
- h) Total number of employees: 6

2. Additional Comments and Explanations

Constriction of new 8000 Sq Ft public works facility to serve Aumsville residents, water, sewer, parks and roads

3. Attachments

- a) A certified list obtained from Marion County, or a title company, of the names of the owners of all property and their mailing addresses within 100 feet of the boundary of the subject property proposed for a site review and a page of labels. Property owned by the City of Aumsville shall not be included as part of the affected area. Please include the name and address of the applicant and property owners of the subject property. (See attached sample mailing list format)

PLEASE SUBMIT AN ORIGINAL AND 3 COPIES OF THE APPLICATION WITH ATTACHMENTS. IN ADDITION, PLEASE SUBMIT A COPY OF ALL DOCUMENTS AS A PDF.
Email: rharding@aumsville.us

The following information shall be submitted as part of a complete application for Site Design Review:

1. Site Analysis Map.

- a) Containing the applicant's entire property and the surrounding property to a distance sufficient to determine the location of the development in the city, and the relationship between the proposed development site and adjacent property and development. The property boundaries, dimensions, and gross area shall be identified;
- b) Topographic contour lines at intervals determined by the city;
- c) Identification of slopes greater than 10%;
- d) Location and width of all public and private streets, drives, sidewalks, pathways, rights-of-way, and easements on site and adjoining the site;
- e) Potential natural hazard areas, including any areas identified as subject to a 100-year flood, areas subject to high water table, and areas mapped by the city, county, or state as having a potential for geologic hazards;
- f) Resource areas, including marsh and wetland areas, streams, wildlife habitat identified by the city or

- any natural resource regulatory agencies as requiring protection;
- g) Site features, including existing structures, pavement, drainage ways, and ditches;
- h) Locally or federally designated historic and cultural resources on the site and adjacent parcels or lots;
- i) The location, size and species of trees and other vegetation having a caliper (diameter) of 4 inches or greater at four feet above grade;
- j) North arrow, scale, names and addresses of all persons listed as owners on the most recently recorded deed;
- k) Name and address of project designer, engineer, surveyor, and/or planner, if applicable;
- l) Other information, as determined by the city administrator. The city may require studies or exhibits prepared by qualified professionals to address specific site features.

2. **Proposed Site Plan.** The site plan shall contain the following information, if applicable:

- a) The proposed development site, including boundaries, dimensions, and gross area;
- b) Features identified on the existing site analysis map which are proposed to remain on the site;
- c) Features identified on the existing site map, if any, which are proposed to be removed or modified by the development;
- d) The location and dimensions of all proposed public and private streets, drives, rights-of-way, and easements;
- e) The location and dimensions of all existing and proposed structures, utilities, pavement and other improvements on the site. Setback dimensions for all existing and proposed buildings shall be provided on the site plan;
- f) A calculation of the total impervious surface before development and the total effective impervious surface after development;
- g) The location and dimensions of all stormwater or water quality treatment, infiltration and/or retention facilities;
- h) The location and dimensions of entrances and exits to the site for vehicular, pedestrian, and bicycle access;
- i) The location and dimensions of all parking and vehicle circulation areas (show striping for parking stalls and wheel stops, as applicable);
- j) Pedestrian and bicycle circulation areas, including sidewalks, internal pathways, pathway connections to adjacent properties, and any bicycle lanes or trails;
- k) Loading and service areas for waste disposal, loading and delivery;
- l) Outdoor recreation spaces, common areas, plazas, outdoor seating, street furniture, and similar improvements, as applicable;
- m) Location, type, and height of outdoor lighting;
- n) Name and address of project designer, if applicable; Locations, sizes, and types of signs;
- o) Other information determined by the city administrator. The city may require studies or exhibits prepared by qualified professionals to address specific site features (e.g., traffic, noise, environmental features, natural hazards, etc.) in conformance with this code.

3. **Architectural Drawings.** Architectural drawings shall be submitted showing:

- a) Building elevations with building height and width dimensions;
- b) Building materials, color and type;
- c) The name of the architect or designer.

4. **Preliminary Grading Plan.** A preliminary grading plan prepared by a registered engineer shall be required for developments which would result in the grading (cut or fill) of 1,000 cubic yards or greater. The preliminary grading plan shall show the location and extent to which grading will take place, indicating general changes to contour lines, slope ratios, slope stabilization proposals, and location and height of retaining walls, if proposed. Surface water detention and treatment plans may also be required.

5. **Landscape Plan.** A landscape plan is required and shall show the following:

- a) The location and height of existing and proposed fences and other buffering or screening material;
- b) The location of existing and proposed terraces, retaining walls, decks, patios, shelters, and play areas;

- c) The location, size, and species of the existing and proposed plant materials (at time of planting);
- d) Existing and proposed building and pavement outlines;
- e) Specifications for soil at time of planting, irrigation if plantings are not drought tolerant (may be automatic or other approved method or irrigation) and anticipated planting schedule.

6. **Sign drawings shall be required in conformance with the city's sign ordinance (Section 19.00).**

7. **Copies of all existing and proposed restrictions and covenants.**

4. **Site Design Review – Approval Criteria:**

- a) Does the application comply with all of the applicable provisions of the underlying land use zone, including: building and yard setbacks, lot area and dimensions, lot coverage, and other special standards as may be required for certain land uses?

YES NO Please explain: _____

- b) Does the proposal upgrade any existing development that does not comply with the applicable land use zone standards, in conformance with Sections 4.10 through 4.12, *Nonconforming Uses and Development*?

YES NO Please explain: _____

- c) Does the proposal match the characteristics of adjoining surrounding uses?

YES NO Please explain: _____

- d) Does the application comply with the supplementary zone regulations contained in Sections 18.00, 19.00, and 22.00?

YES NO Please explain: _____

- e) Will the application increase the parcels' or the structures' use of the public improvements facilities?

YES NO Please explain: will not increase transportation to the current facility

- f) Does the application address noise and/or visual buffering from non-compatible uses, drainage and erosion control needs, and public health factors?

YES NO Please explain: _____

- g) Does the application address problems that may arise due to development within potential hazard area and retention of existing natural features on the site?

YES NO Please explain: None exist

5. This application must be signed by the applicant and all owners of the applicable property.
(Prepare and attach additional signatures, if necessary.)

Applicant Signature: _____ Date: _____

Applicant Signature: Ray Hendry Date: 2/27/23

Property Owner Name (please print): Ken Harrison / City of Aunsville

Property Owner Signature: Ray Hendry

Mailing Address: 595 Main Street Aunsville OR. 97325

Property Owner Name (please print): City of Aunsville

Property Owner Signature: _____

Mailing Address: _____

08 2W 25A

08 2W 25A AUMSVILLE



MARION COUNTY, OREGON
NE1/4 SEC25 T8S R2W W.M.
SCALE 1" = 200'

LEGEND

LINE TYPES	
Taxlot Boundary	Historical Boundary
Road Right-of-Way	Easement
Railroad Right-of-Way	Railroad Centerline
Private Road ROW	Taxcode Line
Subdivision/Plat Bndry	Map Boundary
Waterline - Taxlot Bndry	Waterline - Non Bndry

CORNER TYPES	
+ 1/16TH Section Cor	⊕ 1/4 Section Cor
⊙ DLC Corner	⊕ 16 15 Section Corner
	⊕ 21 22 Section Corner

NUMBERS
Tax Code Number
00 00 0
Acreage 0.25AC All acres listed are Net Acres, excluding any portions of the taxlot within public ROWs

NOTES
Tick Marks: A tick mark in the road indicates that the labeled dimension extends into the public ROW



CANCELLED NUMBERS

101
102
700
800
900
901

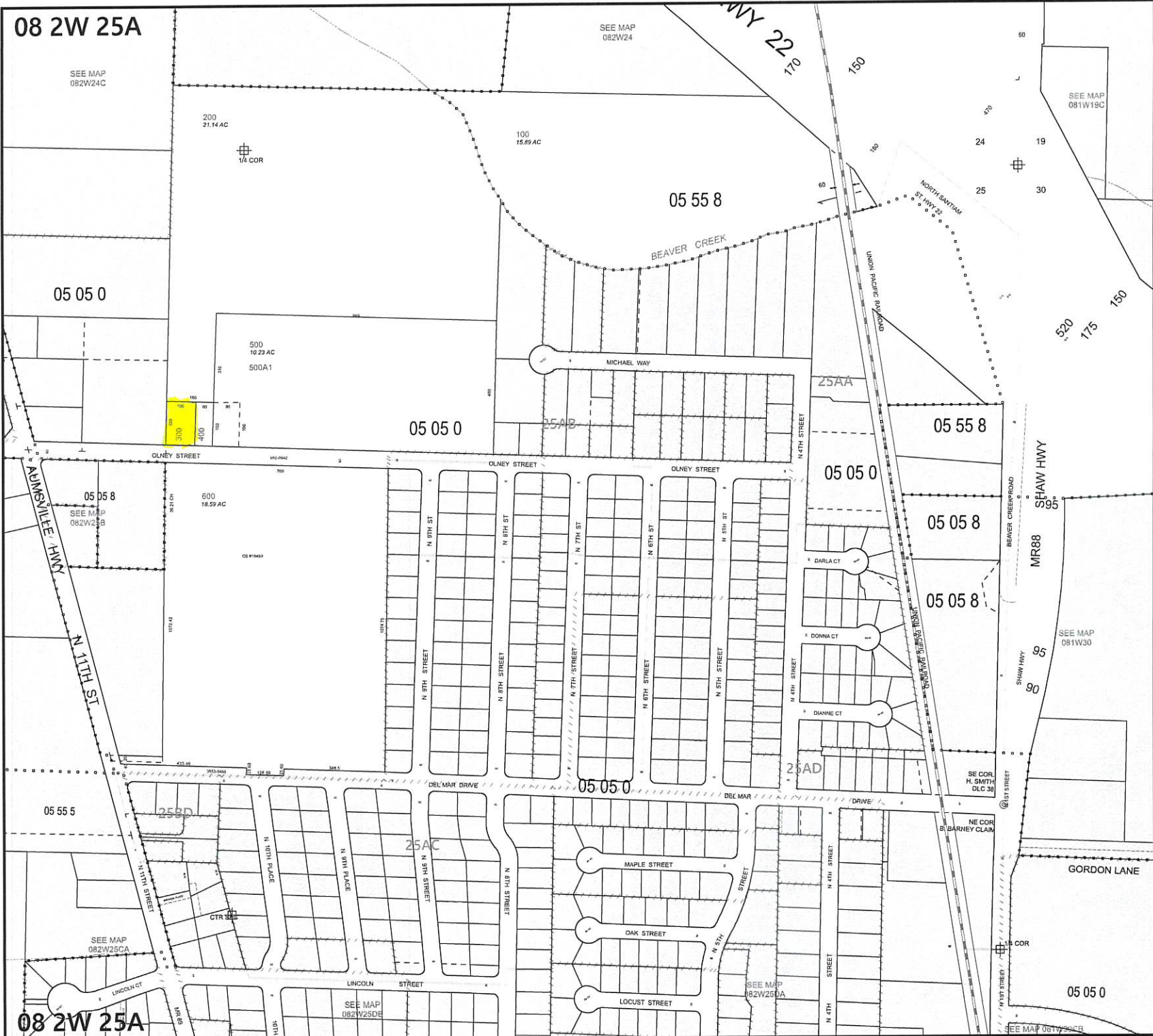
DISCLAIMER: THIS MAP WAS PREPARED FOR ASSESSMENT PURPOSES ONLY



FOR ADDITIONAL MAPS VISIT OUR WEBSITE AT www.co.marion.or.us

PLOT DATE: 10/16/2020

AUMSVILLE 08 2W 25A



Aumsville

965

Olney St SE

900

902

904

ABBREVIATIONS

Ø	DIAMETER	NTS	NOT TO SCALE
±	APPROXIMATE	O.D.	OUTSIDE DIAMETER
AC	ASPHALT CONCRETE	O.G.	ORIGINAL GROUND
ARV	AIR RELEASE VALVE	OF	OVERFLOW
ASTM	AMERICAN SOCIETY FOR TESTING & MATLS.	OH	OVERHEAD
AWWA	AMERICAN WATER WORKS ASSOCIATION	OZ	OUNCE
BF	BLIND FLANGE	P.T.	PRESSURE TREATED
BFV	BUTTERFLY VALVE	P.W.	POTABLE WATER
BGS	BELOW GROUND SURFACE	P.L.	PROPERTY LINE
BH	BORIS HOLE	P.	PLATE (STEEL)
BLDG	BUILDING	PCC	PORTLAND CEMENT CONCRETE
BTM	BOTTOM	PCF	POUNDS PER CUBIC FOOT
CARV	COMBINATION AIR RELEASE VALVE	PE	PLAIN END
CATV	CABLE TELEVISION	PRV	PRESSURE REDUCING VALVE
CS	CATCH BASIN	PSF	POUNDS PER SQUARE FOOT
C.S.	CHLORINE SOLUTION	PSI	POUND PER SQUARE INCH
CY	CUBIC YARD	PVC	POLYVINYL CHLORIDE PLASTIC
C.L.	CENTERLINE	PWR	POWER
CFS	CUBIC FEET PER SECOND	R	RADIUS
CIRC	CIRCULAR	RD	ROOF DRAIN
CL	CLASS OR CLEAR	RT	RIGHT
CLR.	CLEAR	S	SOUTH
CMP	CORRUGATED METAL PIPE	S, SL	SLOPE
CMU	CONCRETE MASONRY UNIT	SF	SQUARE FOOT
CO	CLEAN OUT	SW	SAMPLE WATER
CONC	CONCRETE	SCH	SCHEDULE
CTF	CUT TO FIT	SD	STORM DRAIN
DEMO	DEMOLITION	SEC	SECOND
DF	DOUGLAS FIR	SHT	SHEET
DI	DUCTILE IRON	SQ	SQUARE
DIP	DUCTILE IRON PIPE	SS	SANITARY SEWER
DIA	DIAMETER	SST	STAINLESS STEEL
DWS	DOWN SPOUT	STA	STATION
DTL	DETAIL	STD	STANDARD
DWGS	DRAWINGS	T&B	TOP AND BOTTOM
E	EAST	TB	THRUST BLOCK
EA	EACH	TEL	TELEPHONE
EL	ELEVATION	TEL PED.	TELEPHONE PEDESTAL
ELC	ELECTRICAL	TEMP	TEMPERATURE
ELEV	ELEVATION	TOP	TOP OF PIPE
EW	EACH WAY	TP	TEST PIT
EF	EACH FACE	TRANS	TRANSFORMER
FBE	FUSION BONDED EPOXY	TS	TOP OF SLAB
FCA	FLANGE COUPLING ADAPTOR	TYP	TYPICAL
FPE	FINISHED FLOOR ELEVATION	UG	UNDERGROUND
FG	FINISHED GRADE	V	VERTICAL
FH ASSY	FIRE HYDRANT ASSEMBLY	W	WEST
FL	FLANGE	W.M.	WATER METER
FRP	FIBERGLASS REINFORCED PLASTIC	W/	WITH
FT	FOOT	WAL	WATER LINE
FTG	FOOTING	W/TB	WITH THRUST BLOCK
G	GAS	WISE	WATER SURFACE ELEVATION
GAL	GALLON	WTR	WATER LINE
GALV	GALVANIZED	WV	WATER VALVE
GRAV	GRAVEL	WWF	WELDED WIRE FABRIC
GRV	GROOVED (PIPE)	YD	YARD
GV	GATE VALVE		
H	HORIZONTAL		
H.W.	HOT WATER		
HDPE	HIGH-DENSITY POLYETHYLENE PLASTIC		
HWL	HIGH WATER LEVEL		
I.D.	INSIDE DIAMETER		
INV	INVERT ELEVATION		
J.B.	JUNCTION BOX		
KSI	KIPS PER SQUARE INCH		
LB	POUND		
LBS	POUNDS		
MAX	MAXIMUM		
MECH.	MECHANICAL		
MG	MILLION GALLON		
MR	MANHOLE		
MIL	ONE-THOUSANTH OF AN INCH		
MIN	MINIMUM		
MJ	MECHANICAL JOINT		
N	NORTH		
N.A.	NORMALLY CLOSED		
N.O.	NORMALLY OPEN		
NC	NOT IN CONTRACT		
N.P.W.	NON POTABLE WATER		
NSF	NATIONAL SANITATION FOUNDATION		
NPT	NATIONAL PIPE THREAD		

DRAWING REFERENCING

SECTIONS ARE CROSS REFERENCED IN THE FOLLOWING MANNER:

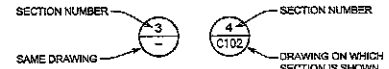
A SECTION CUT APPEARING ON DRAWING C101:



ON DRAWING C103 THIS SECTION IS DEFINED AS:

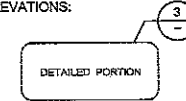


SECTIONS OR DETAIL CUT AND SHOWN ON THE SAME DRAWING:



A DETAIL OR SECTION REFERENCED IN TEXT, "SEE C/C104" MEANS SEE SECTION 5 OR DETAIL 6 ON DRAWING NUMBER C104.

DETAILS AND ELEVATIONS:



ABBREVIATIONS

ASPH.	ASPHALT	IRR.	IRRIGATION
AD	AREA DRAIN	IS	INVERT ELEVATION
ASBY	ASSEMBLY	JB	JUNCTION BOX
BLDG, BLD.	BUILDING	LP	LIGHT POLE
BTM	BOTTOM OF WALL	M	METER MAN
CATV	CABLE TELEVISION	MB	MAILBOX
CB	CATCH BASIN	MC	MANHOLE
CO	CLEAN-OUT	OH	OVERHEAD
CONC	CONCRETE	P.L.	PROPERTY LINE
CL, C.	CENTERLINE	PP	POWER POLE
DIP	DUCTILE IRON PIPE	PVC	POLYVINYL CHLORIDE
EG	EDGE OF GRAVEL	PWR	POWER
EDG, ER.	EDGE OF PAVEMENT	R. RAD.	RADIUS
ELEV.	ELEVATION	R/W, R/W.	RIGHT-OF-WAY
EX, EXIST.	EXISTING	SS	SANITARY SEWER
F.D.	FIRE DEPT. CONNECTOR	SD	STORM DRAIN
FT	FEET	SVG	SERVICE
FF	FINISH FLOOR	SMB, S/W.	SIGNAL
FG	FINISH GRADE	TC	TOP OF CURB
FN	FIRE HYDRANT	TEL	TELEPHONE
FI	FIELD INLET	TR	TRANSFORMER
FN	FORCE MAIN	TS	TRAFFIC SIGNAL
GRAV.	GRAVEL	TY	TOP OF WALL
GM	GAS METER	TY	TYPICAL
GP	GATE POST	UG, U/G	UNDERGROUND
GS	GROUND SPOT	UTL.	UTILITY
GV	GAS VALVE	WLT	WALLET
HAND.	HANDCAP	W/	WITH
HDPE	HIGH-DENSITY POLYETHYLENE	WM	WATER METER
HYS	HYDRANT	WLM	WATER METER WELANDS MARKER
IR	IRON ROD	YPC	YELLOW PLASTIC CAP
IP	IRON PIPE		

SYMBOLS

AD	AREA DRAIN	SP	SIGN POST
CB	CATCH BASIN	PE	PEDESTAL
CO	CLEANOUT	MB	MAIL BOX
FH	FIRE HYDRANT	IV	IRRIGATION VALVE
GV	GAS VALVE	LP	LIGHT POLE
WV	WATER VALVE	UP	UTILITY/POWER POLES
GP	GAS/POWER/WATER METER	TP	TEST PIT
DS	DOWN SPOUT	MF	MONUMENT FOUND
MT	MANHOLE TELEPHONE		
MSD	MANHOLE STORM DRAIN		
MSW	MANHOLE SANITARY SEWER		

① TREES - "GREENNAME" DIAMETER (INCHES)/DRIP RADIUS (FEET)
NOTE: DIAMETER MEASURED AT BREAST HEIGHT

LINE TYPES

CATV LINE	--- CATV --- CATV --- CATV --- CATV --- CATV --- CATV ---
COMMUNICATION LINE	--- COM --- COM --- COM --- COM --- COM --- COM ---
ESDMENT LINE	--- ESD --- ESD --- ESD --- ESD --- ESD --- ESD ---
FIBER OPTIC LINE	--- FOG --- FOG --- FOG --- FOG --- FOG --- FOG ---
GAS LINE	--- GAS --- GAS --- GAS --- GAS --- GAS --- GAS ---
EDGE OF GRAVEL LINE	--- EG LINES --- EG LINES --- EG LINES --- EG LINES --- EG LINES ---
OVERHEAD LINE	--- OH LINES --- OH LINES --- OH LINES --- OH LINES --- OH LINES ---
PHONE LINE	--- PH --- PH --- PH --- PH --- PH --- PH ---
POWER LINE	--- PWR --- PWR --- PWR --- PWR --- PWR --- PWR ---
SANITARY SEWER LINE	--- SS --- SS --- SS --- SS --- SS --- SS ---
STORM DRAIN LINE	--- SD --- SD --- SD --- SD --- SD --- SD ---
WATER LINE	--- W --- W --- W --- W --- W --- W ---

NO.	DESCRIPTION	DATE	BY

SCALE: 1" = 10'-0"

DATE: AUG 2022

WE ENGINEERING, INC.

CORPORATE ENGINEERS AND PLANNERS

2500 NW 107th Ave, Suite 105, Portland, OR 97229

Phone: (503) 835-2075 Fax: (503) 835-2088

E-mail: wwe@weengineering.com

CITY OF ASTORIA, OREGON

PUBLIC WORKS SHOP

ABBREVIATIONS & DRAWING REFERENCES

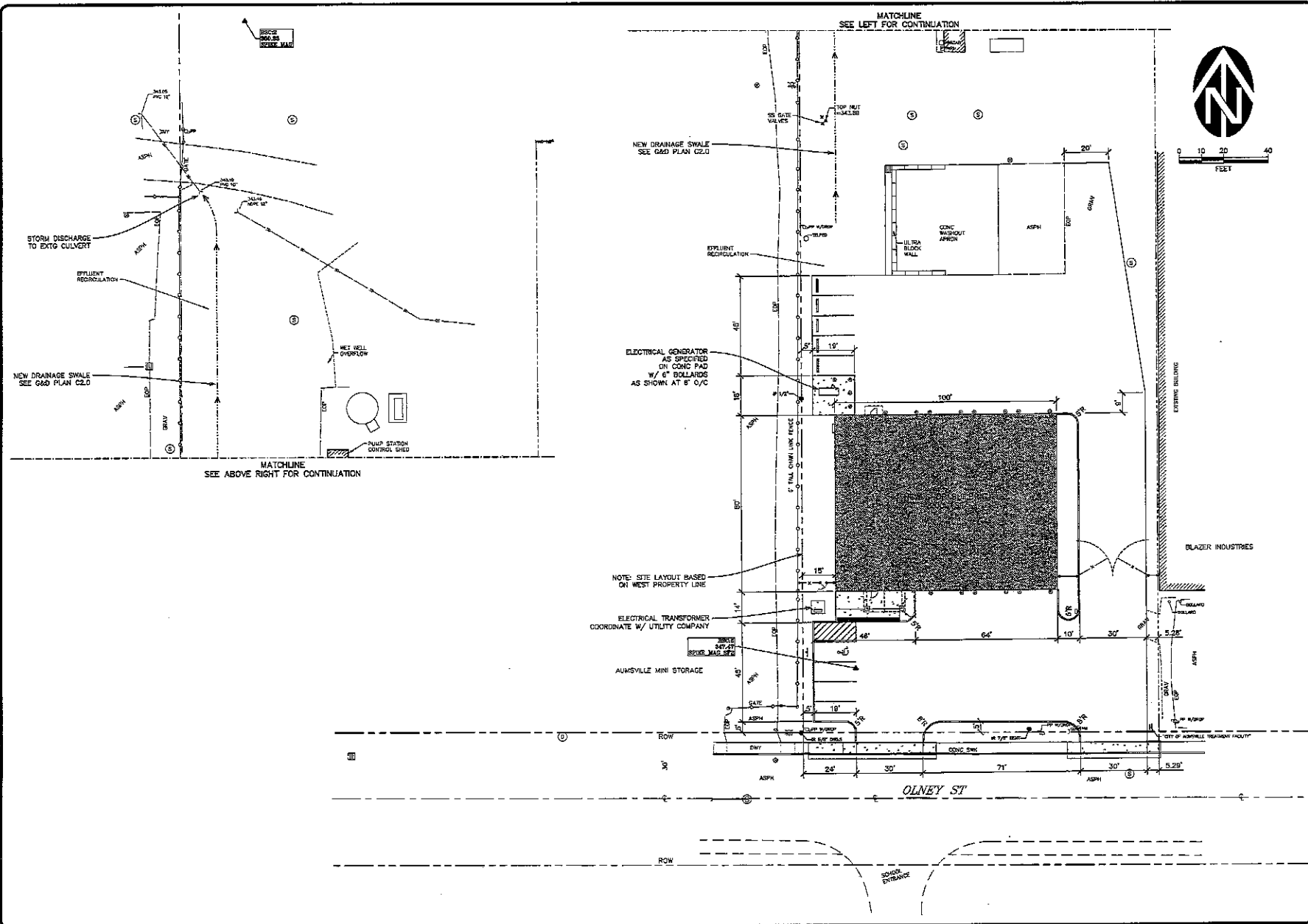
DRAWING **GO.1**

2 OF 28

JOB NUMBER **2599.1200.0**

1/20/2022 12:26:14 PM: P:\2022\2599\2599.1200\GO.1.dwg (2599.1200.dwg)

DATE PLOTTED: 08/25/2012 10:48:12 AM
 PLOT FILE: I:\Projects\2599.1200\DWG\G1.0.dwg (G1.0.dwg)



<p> WESTECH ENGINEERING, INC. CONSULTING ENGINEERS AND PLANNERS 3844 Center Parkway Dr., S.E. Suite 105, Salem, OR 97306 Phone: (503) 582-2474 Fax: (503) 582-3389 E-mail: westech@westech-inc.com </p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th>NO.</th> <th>DATE</th> <th>BY</th> <th>REVISIONS</th> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </table>	NO.	DATE	BY	REVISIONS								
NO.	DATE	BY	REVISIONS										
													
<p> CITY OF AUKSVILLE, OREGON PUBLIC WORKS SHOP SITE LAYOUT PLAN </p>													
<p> DRAWING G1.0 3 OF 28 JOB NUMBER 2599.1200.0 </p>													

GENERAL CIVIL SITEWORK NOTES

1. Contractor shall provide and conform to all construction permits required by the City of Aumsville.
2. Owner to pay all project permit costs, including but not limited to utility impact, TV, and fees to provide the Owner with 48 hours notice prior to the required payment of fees or costs.
3. Owner to pay for all utility relocation and/or protection. The Contractor shall provide the Owner with a copy of the City of Aumsville Public Works Department's Utility Relocation and/or Protection Fee Schedule (URS/PFS) and the Oregon Utility Relocation and/or Protection Fee Schedule (OURS/PFS) for the Oregon Utility Relocation and/or Protection Fee Schedule.
4. The Contractor shall provide a copy of all utility relocation requirements of the City of Aumsville to the City of Aumsville Public Works Department.
5. All materials and workmanship for facilities in street right-of-way or easements shall conform to the City of Aumsville Public Works Department's Utility Relocation and/or Protection Fee Schedule (URS/PFS) and the Oregon Utility Relocation and/or Protection Fee Schedule (OURS/PFS) and the Oregon Department of Transportation's (ODOT) Utility Relocation and/or Protection Fee Schedule (URS/PFS).
6. Utilities otherwise approved by the Public Works Director, construction of all public facilities shall be done between 7:00 a.m. and 6:00 p.m., Monday through Saturday.
7. The Contractor shall perform all work necessary to complete the project in accordance with the approved specifications and standards. The Contractor shall be responsible for obtaining all necessary permits from any jurisdiction to perform the work in a timely manner.
8. Any materials by the City or other Approving Agency shall not, in any way, release the Contractor from any obligation to perform the work in a timely manner.
9. Contractor shall maintain one complete set of approved drawings on the construction site at all times when the work is in progress. The Contractor shall be responsible for obtaining all necessary permits from any jurisdiction to perform the work in a timely manner.
10. Items of construction of all new facilities, Contractor shall submit a clean set of final approved drawings containing all amendments to the Engineer. All information shown on the drawings shall be checked by the Engineer and approved. The Contractor shall be responsible for obtaining all necessary permits from any jurisdiction to perform the work in a timely manner.
11. The contractor shall retain and pay for the services of a registered Civil Engineer and/or Land Surveyor to prepare and certify all drawings and specifications. The drawings and specifications shall be checked by the Engineer and approved. The Contractor shall be responsible for obtaining all necessary permits from any jurisdiction to perform the work in a timely manner.

TESTING AND INSPECTION

12. Contractor shall test and provide test results for all materials and workmanship in accordance with the approved specifications and standards. The Contractor shall be responsible for obtaining all necessary permits from any jurisdiction to perform the work in a timely manner.
13. For public and private improvements, the Contractor shall be responsible to ensure that all materials and workmanship are tested and approved by the Engineer and approved. The Contractor shall be responsible for obtaining all necessary permits from any jurisdiction to perform the work in a timely manner.
14. Utilities otherwise approved, the contractor shall provide test results for all materials and workmanship in accordance with the approved specifications and standards. The Contractor shall be responsible for obtaining all necessary permits from any jurisdiction to perform the work in a timely manner.

EXISTING UTILITIES & FACILITIES

15. The location and description of existing utilities shown on the drawings are compiled from available records and/or field surveys. The Engineer or utility companies do not guarantee the accuracy of any utility utility records or field surveys. The Contractor shall be responsible for obtaining all necessary permits from any jurisdiction to perform the work in a timely manner.
16. Contractors shall field verify location and depth of all existing utilities using non-destructive methods and/or other methods approved by the Engineer. The Contractor shall be responsible for obtaining all necessary permits from any jurisdiction to perform the work in a timely manner.
17. The Contractor shall be responsible for locating and marking all existing utility manholes of record (including but not limited to property and street measurements) prior to construction. The Contractor shall be responsible for obtaining all necessary permits from any jurisdiction to perform the work in a timely manner.
18. All utilities shall be maintained in-place by the Contractor unless otherwise approved by the Engineer. The Contractor shall be responsible for obtaining all necessary permits from any jurisdiction to perform the work in a timely manner.

GRADES, PAVING & FINISHES

19. Utilities or existing facilities of utilities that are not shown on the drawings shall be maintained in-place by the Contractor unless otherwise approved by the Engineer. The Contractor shall be responsible for obtaining all necessary permits from any jurisdiction to perform the work in a timely manner.
20. Contractor shall remove all existing signs, markers, underground, etc. as required to complete the project. The Contractor shall be responsible for obtaining all necessary permits from any jurisdiction to perform the work in a timely manner.
21. The Contractor shall be responsible for maintaining all existing utilities in accordance with the approved specifications and standards. The Contractor shall be responsible for obtaining all necessary permits from any jurisdiction to perform the work in a timely manner.
22. Utilities otherwise approved, all existing utilities shall be maintained in-place by the Contractor unless otherwise approved by the Engineer. The Contractor shall be responsible for obtaining all necessary permits from any jurisdiction to perform the work in a timely manner.
23. Open and open work limits of surface materials, such as concrete, shall be done in accordance with the approved specifications and standards. The Contractor shall be responsible for obtaining all necessary permits from any jurisdiction to perform the work in a timely manner.
24. Open work limits, including all utility manholes, shall be done in accordance with the approved specifications and standards. The Contractor shall be responsible for obtaining all necessary permits from any jurisdiction to perform the work in a timely manner.
25. For public and private improvements, except as otherwise approved by the specifications, grades shall be in accordance with the approved specifications and standards. The Contractor shall be responsible for obtaining all necessary permits from any jurisdiction to perform the work in a timely manner.
26. Proposed grades shall be maintained and completed by the Contractor's representative before grading. The Contractor shall be responsible for obtaining all necessary permits from any jurisdiction to perform the work in a timely manner.
27. Contractor shall provide and conform to the requirements of ODOT (ORS/ORSU) regarding proposed grades. The Contractor shall be responsible for obtaining all necessary permits from any jurisdiction to perform the work in a timely manner.
28. Compact granular base to 22% of the maximum dry density per ASTM D-1557 test method (Modified Proctor). When compacted, the granular base shall be in accordance with the approved specifications and standards. The Contractor shall be responsible for obtaining all necessary permits from any jurisdiction to perform the work in a timely manner.
29. Proposed grades shall be maintained and completed by the Contractor's representative before grading. The Contractor shall be responsible for obtaining all necessary permits from any jurisdiction to perform the work in a timely manner.
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31. HMAIC materials shall be placed and compacted in accordance with the approved specifications and standards. The Contractor shall be responsible for obtaining all necessary permits from any jurisdiction to perform the work in a timely manner.
32. Contractor shall provide new pavement system as required, until it has been tested and approved by the Engineer. The Contractor shall be responsible for obtaining all necessary permits from any jurisdiction to perform the work in a timely manner.
33. Proposed grades shall be maintained and completed by the Contractor's representative before grading. The Contractor shall be responsible for obtaining all necessary permits from any jurisdiction to perform the work in a timely manner.
34. Utilities otherwise shown on the drawings or details, existing grades shall be in accordance with the approved specifications and standards. The Contractor shall be responsible for obtaining all necessary permits from any jurisdiction to perform the work in a timely manner.
35. Finish pavement, grades of vegetation to existing pavement shall match existing pavement grades or be finished with finish with existing pavement as required to provide a smooth, free draining surface.
36. All existing or proposed vegetation shall be removed, unless otherwise approved by the Engineer. The Contractor shall be responsible for obtaining all necessary permits from any jurisdiction to perform the work in a timely manner.
37. Utilities otherwise shown on the drawings, no cut or fill slopes shall be constructed steeper than 3:1. The Contractor shall be responsible for obtaining all necessary permits from any jurisdiction to perform the work in a timely manner.
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41. Contractor shall construct all handover access ramps in accordance with current ADA requirements.
42. Slopes shall be a minimum of 4:1 unless otherwise approved by the Engineer. The Contractor shall be responsible for obtaining all necessary permits from any jurisdiction to perform the work in a timely manner.

CHAINS & SIDEWALKS

43. Chains & Sidewalks, concrete shall be placed and finished in accordance with the approved specifications and standards. The Contractor shall be responsible for obtaining all necessary permits from any jurisdiction to perform the work in a timely manner.
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PIPE UTILITIES

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50. Chains & Sidewalks, concrete shall be placed and finished in accordance with the approved specifications and standards. The Contractor shall be responsible for obtaining all necessary permits from any jurisdiction to perform the work in a timely manner.
51. Chains & Sidewalks, concrete shall be placed and finished in accordance with the approved specifications and standards. The Contractor shall be responsible for obtaining all necessary permits from any jurisdiction to perform the work in a timely manner.
52. Chains & Sidewalks, concrete shall be placed and finished in accordance with the approved specifications and standards. The Contractor shall be responsible for obtaining all necessary permits from any jurisdiction to perform the work in a timely manner.
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CITY OF AUMSVILLE, OREGON
 PUBLIC WORKS SHOP
 CIVIL SITEWORK NOTES

DRAWING NO. 00-0 4
 JOB NUMBER 2599-1200-0

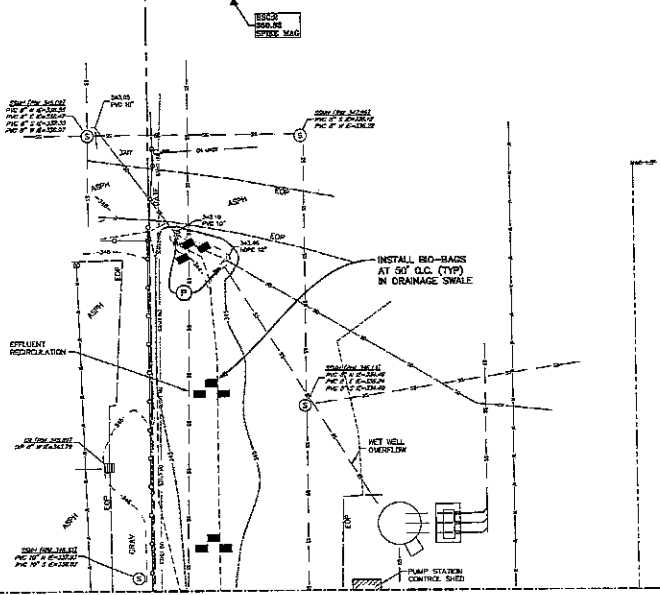
WESTECH ENGINEERING, INC.
 CONSULTING ENGINEERS AND PLANNERS
 2541 Franklin Blvd, Aumsville, OR 97102
 Phone: (503) 995-2474 Fax: (503) 995-5986
 Email: westech@westech-eng.com

REGISTERED PROFESSIONAL ENGINEER
 CIVIL
 STATE OF OREGON
 No. 1116
 JOHN W. STEVENSON

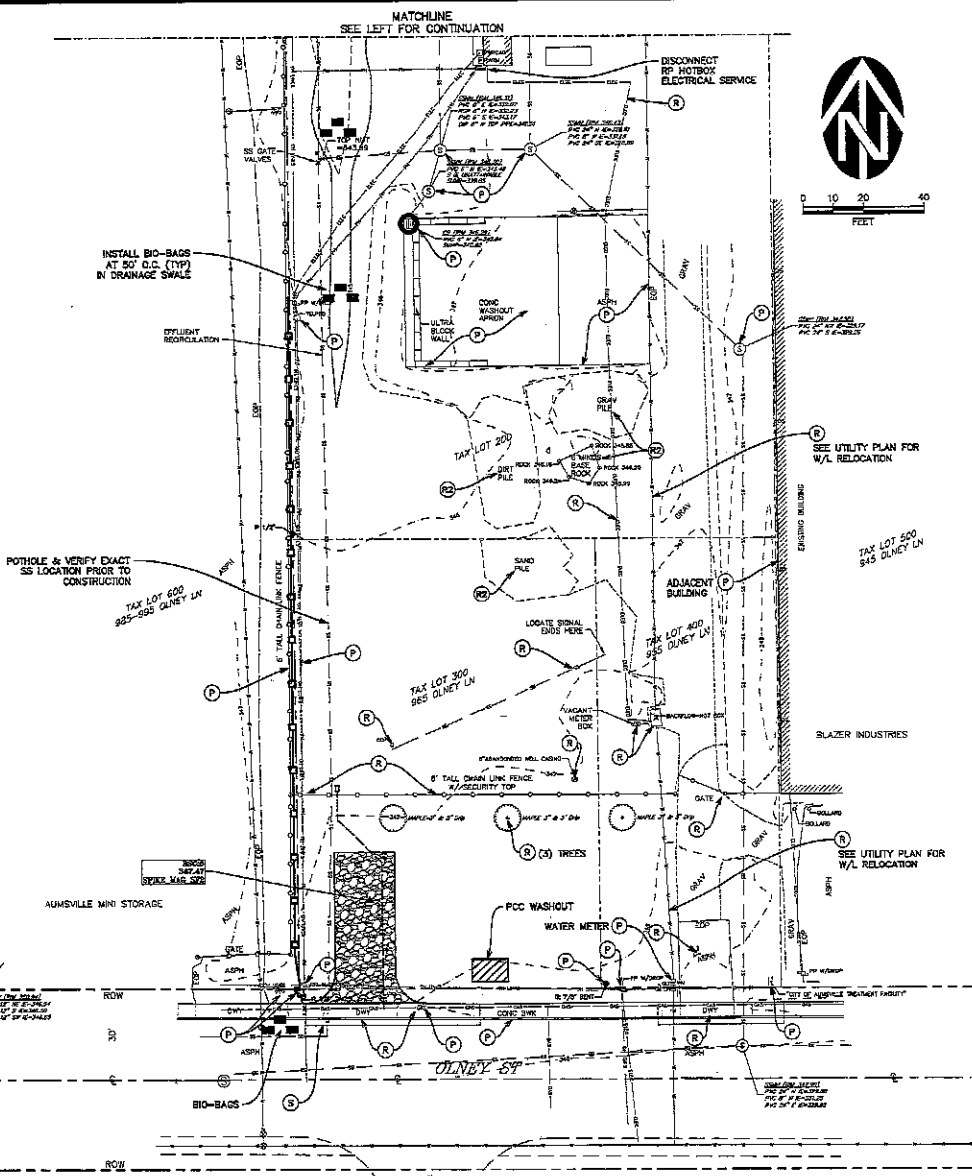
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 DRN. TMT
 CLO. SAW
 DATE: AUG 2022

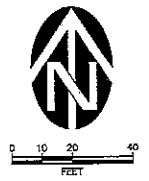
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MATCHLINE
SEE ABOVE RIGHT FOR CONTINUATION



MATCHLINE
SEE LEFT FOR CONTINUATION



DEMOLITION LEGEND

- (P) CONTRACTOR TO SAVE & PROTECT AT ALL TIMES.
- (R) CONTRACTOR TO REMOVE & DISPOSE OFF SITE.
- (M) CONTRACTOR TO RELOCATE.
- (C) CONTRACTOR TO COORDINATE W/ OWNER TO RELOCATE.
- (S) SAWCUT.
- (A) ABANDON IN PLACE.
- (N) ADJUST TO NEW FINISH GRADE.

MAINTAIN ACCESS TO THE
EXISTING PUBLIC WORKS FACILITY
AT ALL TIMES

EROSION CONTROL LEGEND

- SILT FENCE
SEE DTL.
- SILT SACK INLET PROTECTION
SEE DTL.
- BIO-BAG PROTECTION
SEE DTL.
- GRAVEL CONSTRUCTION
ENTRANCE
SEE DTL.

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WE
 ENGINEERING, INC.
 CONSULTING ENGINEERS AND PLANNERS
 1000 NE Oregon Street, Suite 100, Salem, OR 97302
 Phone: (503) 586-5774 Fax: (503) 586-5889
 E-mail: wesales@we-inc.com

CITY OF ALBANY, OREGON
 PUBLIC WORKS SHOP
**EXISTING CONDITIONS
 DEMOLITION &
 EROSION CONTROL PLAN**
 DRAWING
C1.0
 6 of 28
 JOB NUMBER
2599.1200.0

CONSTRUCTION NOTES:

1. THE AREA OF THE CONSTRUCTION ENTRANCE SHALL BE STRIPPED OF ALL TOPSOIL, VEGETATION, ROOTS, AND OTHER NON-COMPACTABLE MATERIAL.
2. SUBGRADE SHALL BE COMPACTED AND PROTECTED PRIOR TO PLACEMENT OF GRANULAR MATERIAL. FAILURE TO PASS PRODFRILL WILL REQUIRE USE OF WET WEATHER SECTION.
3. FAILURE OR PUMPING OF THE DRY WEATHER SECTION WILL REQUIRE REMOVAL OF THE GRANULAR MATERIAL AND INSTALLATION OF THE WET WEATHER SECTION.

MAINTENANCE NOTES:

1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOW OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. TOP DRESSING WITH 3'-8" BUSH STONE AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEAN-OUT OF STRUCTURES USED TO TRAP SEDIMENT.
2. ALL MATERIALS SPILLED, DROPPED, WASHED OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
3. ALL TRUCKS TRANSPORTING SATURATED SOILS SHALL BE WELL SEALED. WATER DRIPPAGE FROM TRUCKS MUST BE REDUCED TO 1 GALLON PER HOUR PRIOR TO LEAVING THE SITE.

LAST REVISION DATE	BY	STANDARD
MAY 2013		STANDARD
TEMPORARY CONSTRUCTION ENTRANCE		
(NTS)		
WESTECH ENG.	DATE NO.	6100

MAINTENANCE NOTES:

1. SEDIMENT BARRIERS SHALL BE MAINTAINED UNTIL UP-SLOPE AREA IS PERMANENTLY STABILIZED.
2. AT NO TIME SHALL MORE THAN ONE FOOT OF SEDIMENT BE ALLOWED TO ACCUMULATE BEHIND SEDIMENT FENCES OR BIOFILTER BAGS.
3. NEW SEDIMENT BARRIERS SHALL BE INSTALLED UPHILL AS REQUIRED TO CONTROL SEDIMENT TRANSPORT.

LAST REVISION DATE	BY	STANDARD
APRIL 2014		STANDARD
SEDIMENT BARRIERS		
(NTS)		
WESTECH ENG.	DATE NO.	6110

NOTES:

1. ALL MATERIAL SHALL CONFORM TO OSGC (GOVT/APWA) SPECIFICATIONS, CURRENT EDITION.
2. SEDIMENT BARRIERS SHALL BE MAINTAINED UNTIL UP-SLOPE AREA IS PERMANENTLY STABILIZED.
3. AT NO TIME SHALL SEDIMENT BE ALLOWED TO ACCUMULATE ABOVE THE TOP OF THE STRAW WATTLE.
4. NEW SEDIMENT BARRIERS SHALL BE INSTALLED UPHILL AS REQUIRED TO CONTROL SEDIMENT TRANSPORT.

LAST REVISION DATE	BY	STANDARD
JUNE 2005		STANDARD
STRAW WATTLE SEDIMENT BARRIER		
(NTS)		
WESTECH ENG.	DATE NO.	6120

NOTES:

1. MINIMUM 12" OVERLAP OF ALL SEAMS REQUIRED.
2. SEDIMENT BARRIER REQUIRED @ TOE OF STOCK PILE.
3. COVERING MAINTAINED TIGHTLY IN PLACE BY USING SANDBAGS OR TIRES ON ROPES WITH A MAXIMUM 10' GRID SPACING IN ALL DIRECTIONS.
4. PLASTIC SHEETING TO EXTEND A MINIMUM OF 12" PAST THE BOTTOM OF THE PILE ONTO SURROUNDING GRADE ON ALL SIDES.

LAST REVISION DATE	BY	STANDARD
JAN 2010		STANDARD
STOCKPILE DETAIL		
(NTS)		
WESTECH ENG.	DATE NO.	6170

MAINTENANCE NOTES:

1. SEDIMENT BARRIERS SHALL BE MAINTAINED UNTIL UP-SLOPE AREA IS PERMANENTLY STABILIZED.
2. AT NO TIME SHALL MORE THAN ONE FOOT OF SEDIMENT BE ALLOWED TO ACCUMULATE BEHIND SEDIMENT FENCES OR BIOFILTER BAGS.
3. NEW SEDIMENT BARRIERS SHALL BE INSTALLED UPHILL AS REQUIRED TO CONTROL SEDIMENT TRANSPORT.

LAST REVISION DATE	BY	STANDARD
APRIL 2014		STANDARD
INLET SEDIMENT CONTROL		
(NTS)		
WESTECH ENG.	DATE NO.	6130

MAINTENANCE NOTES:

1. SEDIMENT BARRIERS SHALL BE MAINTAINED UNTIL UP-SLOPE AREA IS PERMANENTLY STABILIZED.
2. AT NO TIME SHALL MORE THAN ONE FOOT OF SEDIMENT BE ALLOWED TO ACCUMULATE BEHIND BIOFILTER BAGS.
3. NEW SEDIMENT BARRIERS SHALL BE INSTALLED UPHILL AS REQUIRED TO CONTROL SEDIMENT TRANSPORT.
4. PT. 'A' SHALL BE 6" MIN. HIGHER THAN PT. 'B'.

LAST REVISION DATE	BY	STANDARD
APRIL 2014		STANDARD
DITCH AND SWALE EROSION PROTECTION		
(NTS)		
WESTECH ENG.	DATE NO.	6140

NOTES:

1. EMPTY SILT SACK AS NECESSARY.
2. SILTSACK SEDIMENT CONTROL DEVICE AS MANUFACTURED BY ACE ENVIRONMENTAL AND SUPPLIED BY ACE WEST (605) 771-5115 OR APPROVED EQUAL.

LAST REVISION DATE	BY	STANDARD
OCT 2007		STANDARD
SILTSACK INLET DETAIL		
(NTS)		
WESTECH ENG.	DATE NO.	6150

CONCRETE WASHOUT AREA PLAN

CONCRETE WASHOUT AREA DETAIL

CONCRETE WASHOUT AREA PLAN

CONCRETE WASHOUT AREA DETAIL

CONCRETE WASHOUT AREA PLAN

CONCRETE WASHOUT AREA DETAIL

CONCRETE WASHOUT AREA PLAN

CONCRETE WASHOUT AREA DETAIL

LAST REVISION DATE	BY	STANDARD
APR 2021		STANDARD
TEMPORARY CONCRETE WASHOUT AREA (CWA) w/ PLASTIC LINER		
(NTS)		
WESTECH ENG.	DATE NO.	WEB616

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NO.	DATE	BY	DESCRIPTION

UNITS	SCALE
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HORIZONTAL	AS SHOWN
DRAWN	AS SHOWN
DATE	AS SHOWN



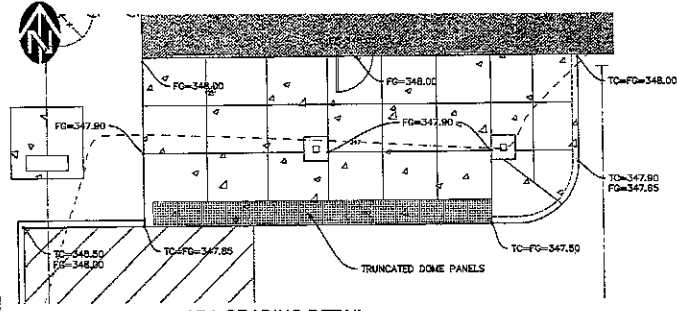
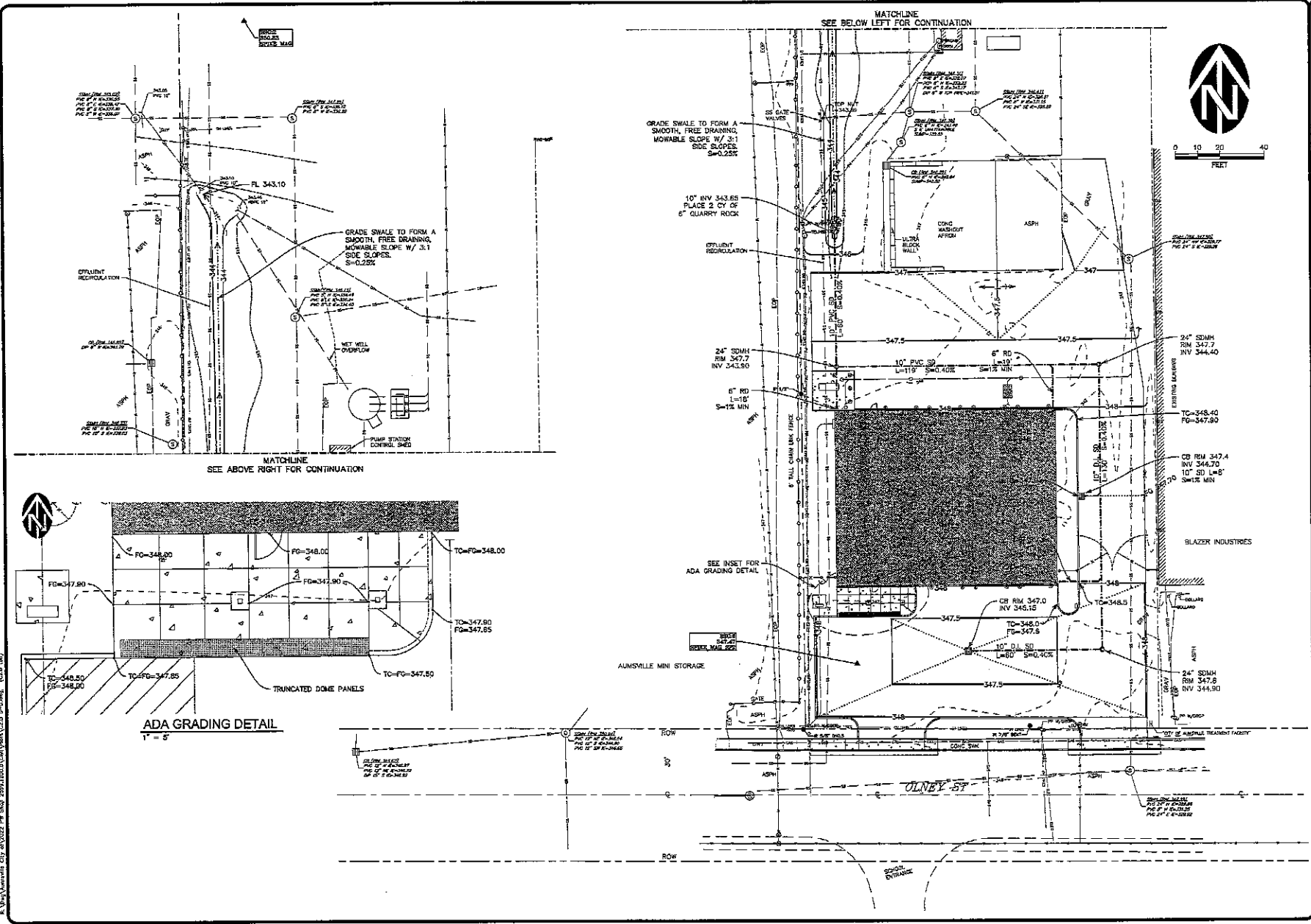
CITY OF ASTORIA, OREGON
 PUBLIC WORKS SHOP
WESTECH ENGINEERING, INC.
 CONSULTING ENGINEERS AND PLANNERS
 1000 NE Oregon Street, Astoria, OR 97103
 Phone: (503) 325-2174 Fax: (503) 325-2000
 E-mail: westech@westech-eng.com

EROSION CONTROL NOTES & DETAILS

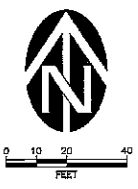
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9 of 28

JOB NUMBER
2599.1200.0

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ADA GRADING DETAIL
 1" = 5'



NO.	DATE	BY	REVISIONS

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 1" = 20'
 1" = 40'

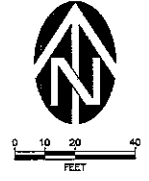
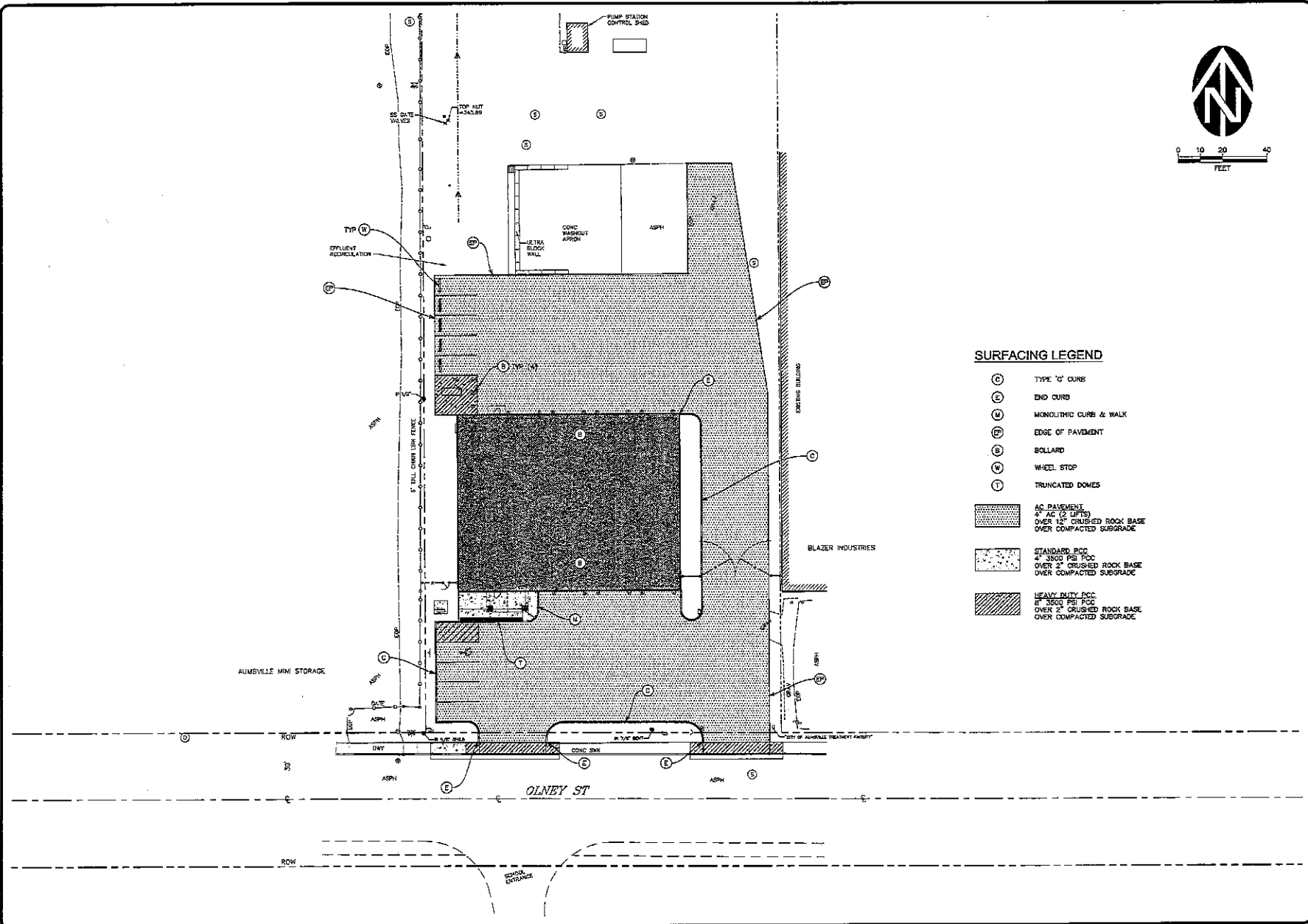


WE
 WILLIAM J. WILSON, INC.
 CONSULTING ENGINEERS AND PLANNERS
 3941 Eastern Industrial Dr., S.E. Suite 103, Salem, OR 97302
 Phone: (503) 585-1000 Fax: (503) 585-1001
 E-mail: wwilson@weinc.com

CITY OF AUMSVILLE, OREGON
 PUBLIC WORKS SHOP
GRADING & DRAINAGE PLAN

DRAWING
 C2.0
 10 OF 28
 JOB NUMBER
 2599.1200.0

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 11/20/2022 10:27:22 AM BY: [redacted]
 11/20/2022 10:27:22 AM BY: [redacted]

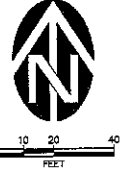
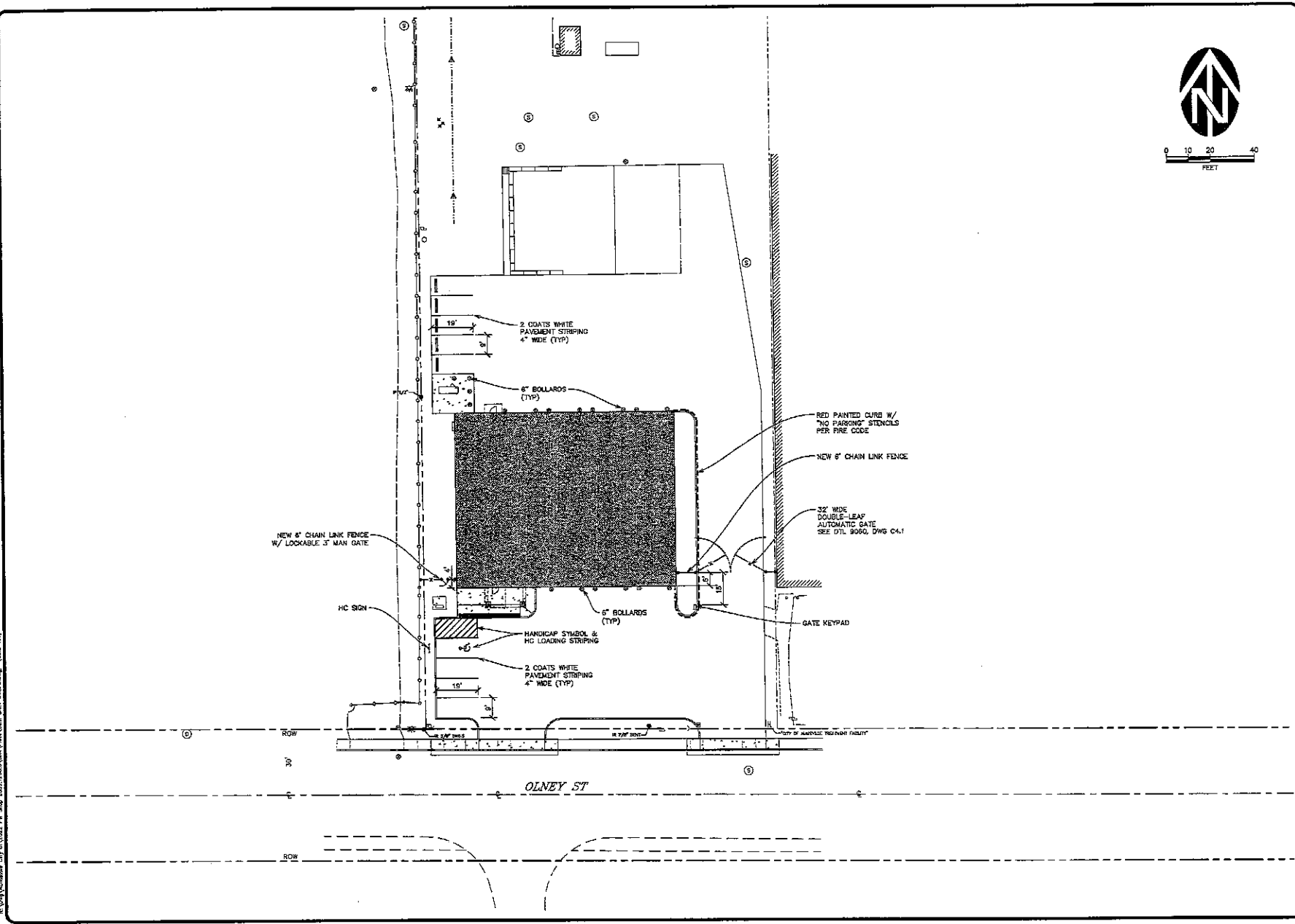


SURFACING LEGEND

- (C) TYPE 'C' CURB
 - (EC) END CURB
 - (M) MONOLITHIC CURB & WALK
 - (EP) EDGE OF PAVEMENT
 - (B) BOLLARD
 - (W) WHEEL STOP
 - (T) TRUNCATED DOMES
- AC PAVEMENT
4" AC (2 LIFTS)
OVER 12" CRUSHED ROCK BASE
OVER COMPACTED SUBGRADE
 - STANDARD PCC
4" 3500 PSI PCC
OVER 2" CRUSHED ROCK BASE
OVER COMPACTED SUBGRADE
 - HEAVY DUTY PCC
4" 3500 PSI PCC
OVER 2" CRUSHED ROCK BASE
OVER COMPACTED SUBGRADE

VERIFY SCALE	0	10	20	40	DATE: AUG 2022	NO. DATE	DESCRIPTION
BY: [redacted]	DATE: [redacted]	NO. DATE	DESCRIPTION	DATE: [redacted]	NO. DATE	DESCRIPTION	DATE: [redacted]
WESTECH ENGINEERING, INC. CONSULTING ENGINEERS AND PLANNERS 3000 NE Adamsville Blvd., Suite 100, Adamsville, OR 97102 Phone: (503) 652-2074 Fax: (503) 652-7887 E-mail: westech@westech-engineer.com							
CITY OF ADAMSVILLE, OREGON PUBLIC WORKS SHOP SURFACING PLAN							
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BY: [Signature]			

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 PROJ.: TYP
 EXC.: SAW

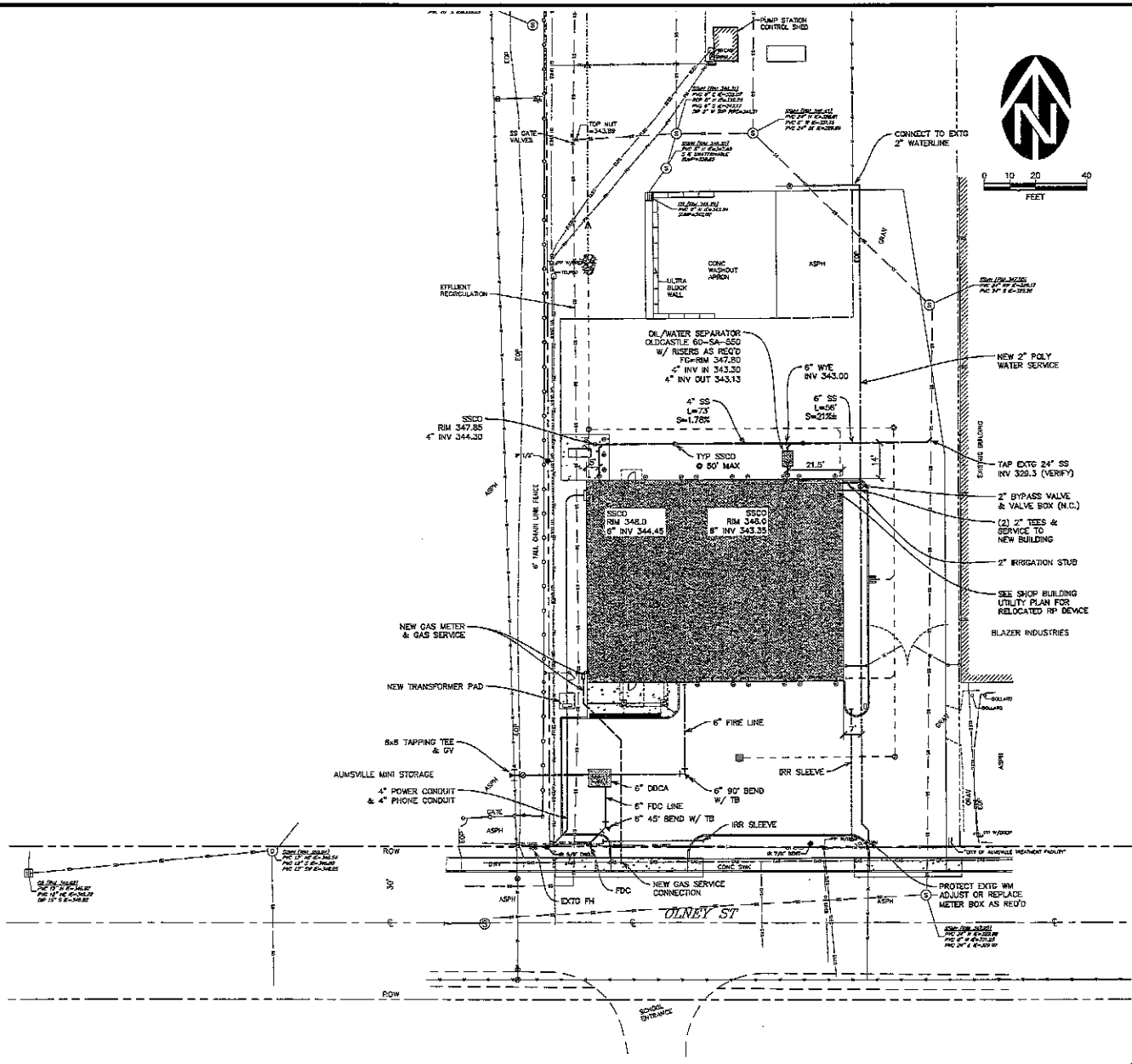
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WE
 WELLS ENGINEERING, INC.
 CONSULTING ENGINEERS AND PLANNERS
 3841 Independence Ave., S.E. Suite 103, Salem, OR 97302
 Phone: 503.466-2611 Fax: 503.466-9498
 E-mail: wels@wells-engineer.com

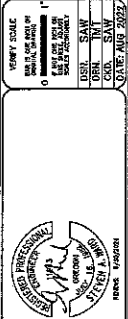
CITY OF SALEM, OREGON
 PUBLIC WORKS SHOP
SIGNING, STRIPING & FENCING PLAN

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 12 OF 28
 JOB NUMBER
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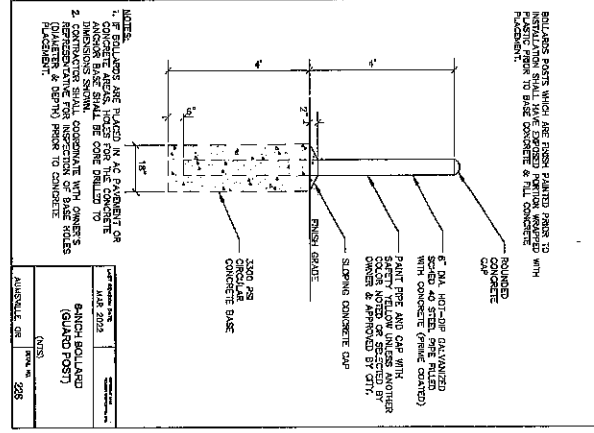
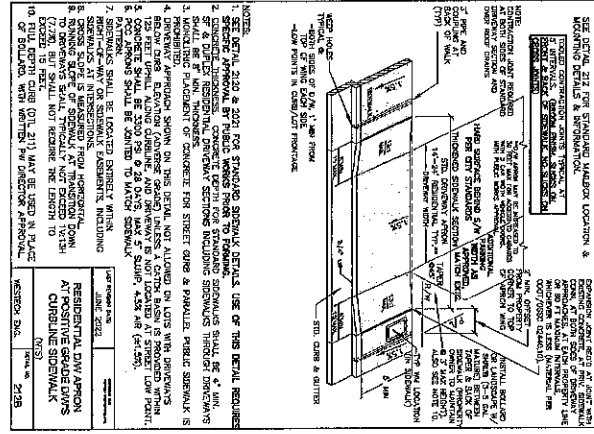
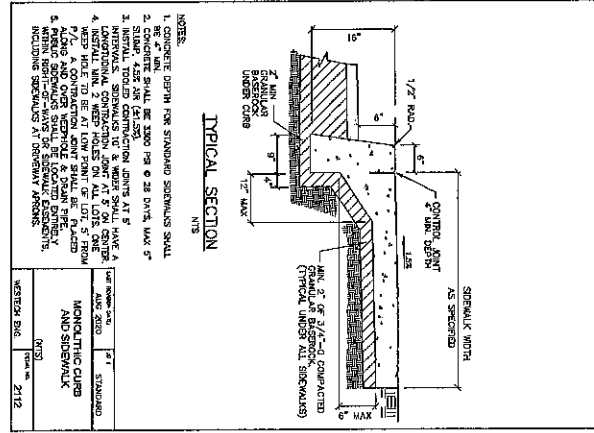
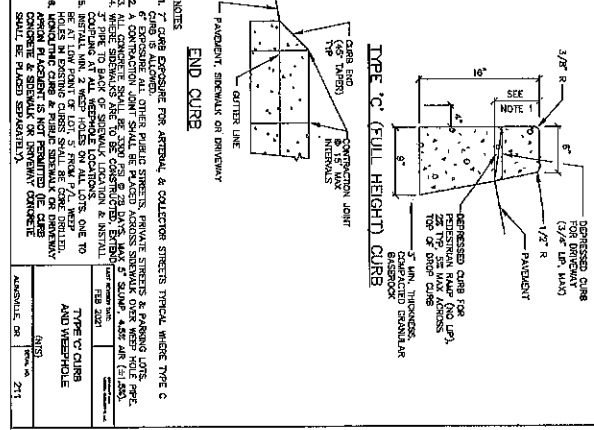
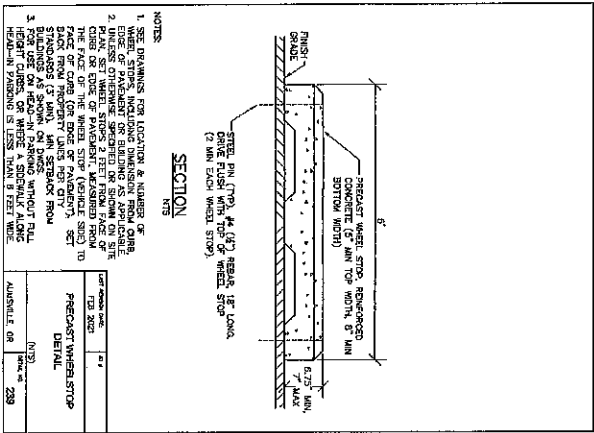
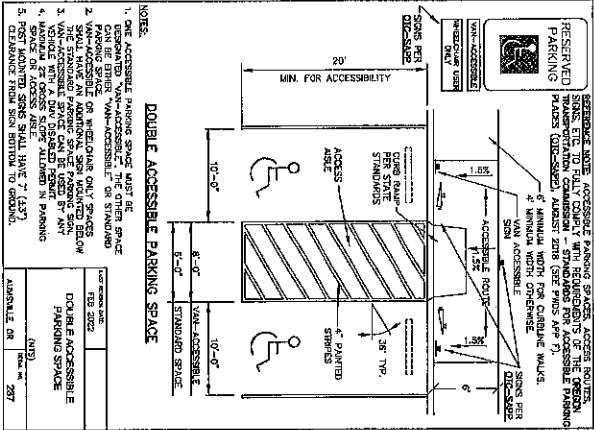
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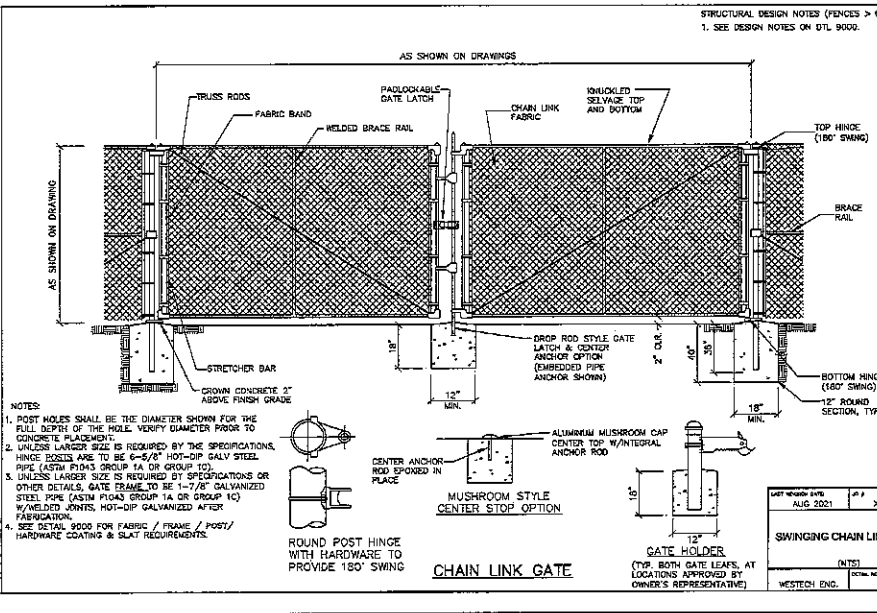
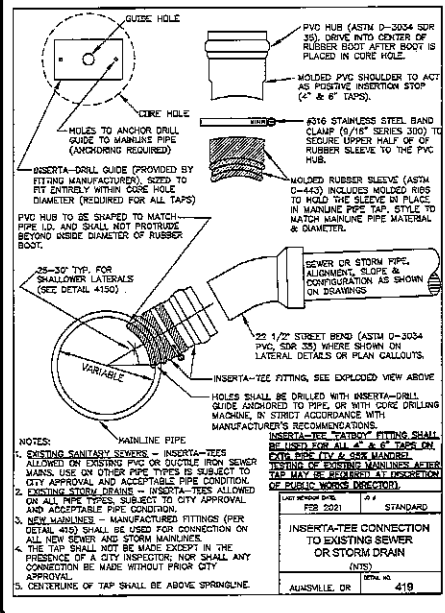
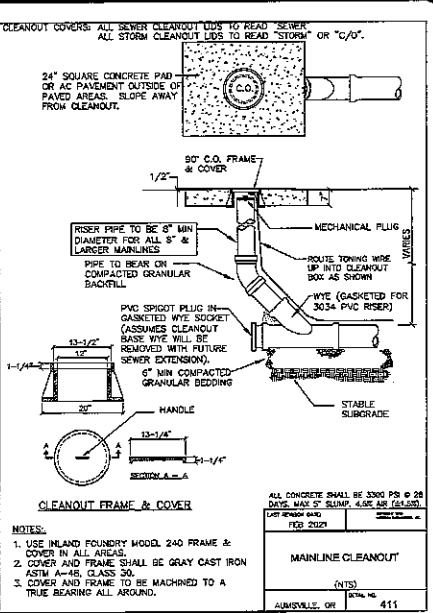
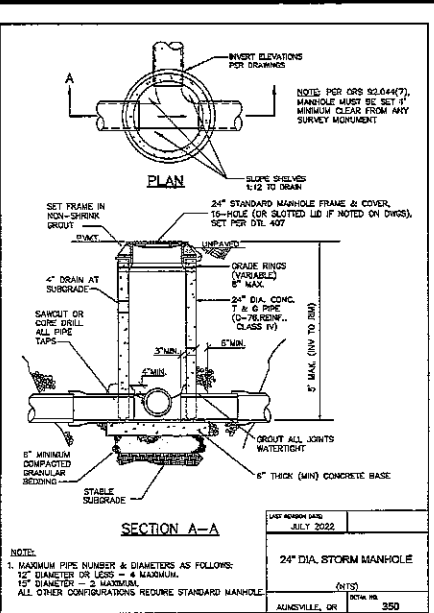
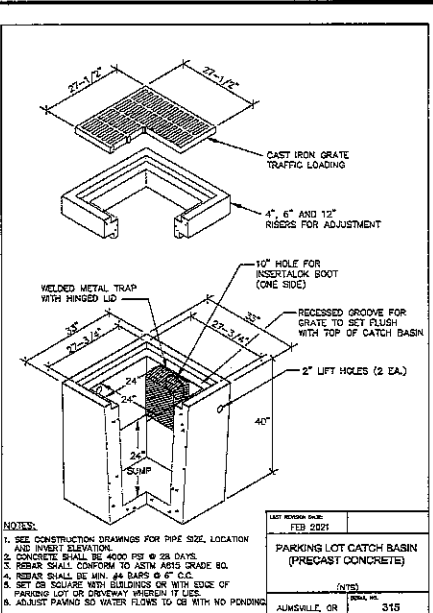
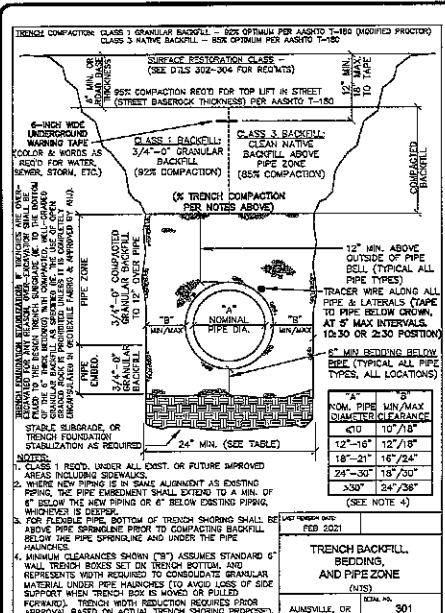


WESTERN ENGINEERING, INC.
 CONSULTING ENGINEERS AND PLANNERS
 3441 E. Holladay Blvd., S.E. Suite 100, Astoria, OR 97102
 Phone: (503) 325-2474 Fax: (503) 325-2488
 E-mail: west@western-eng.com

CITY OF ASTORIA, OREGON
 PUBLIC WORKS SHOP
SITE UTILITY PLAN

DRAWING
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 OF 28
 JOB NUMBER
2599.1200.0





DATE: MAY 2022	BY: [Signature]
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NO. DATE:	REVISIONS:

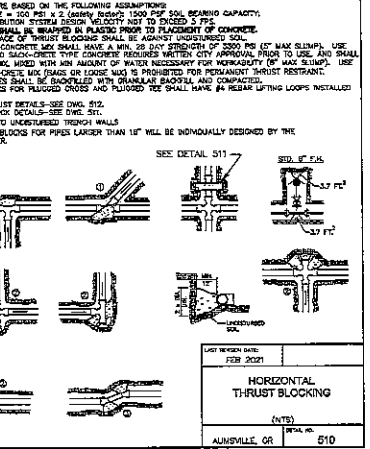
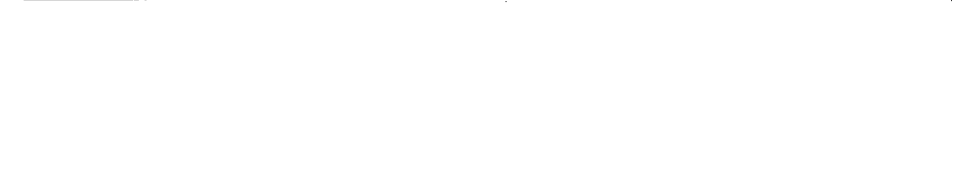
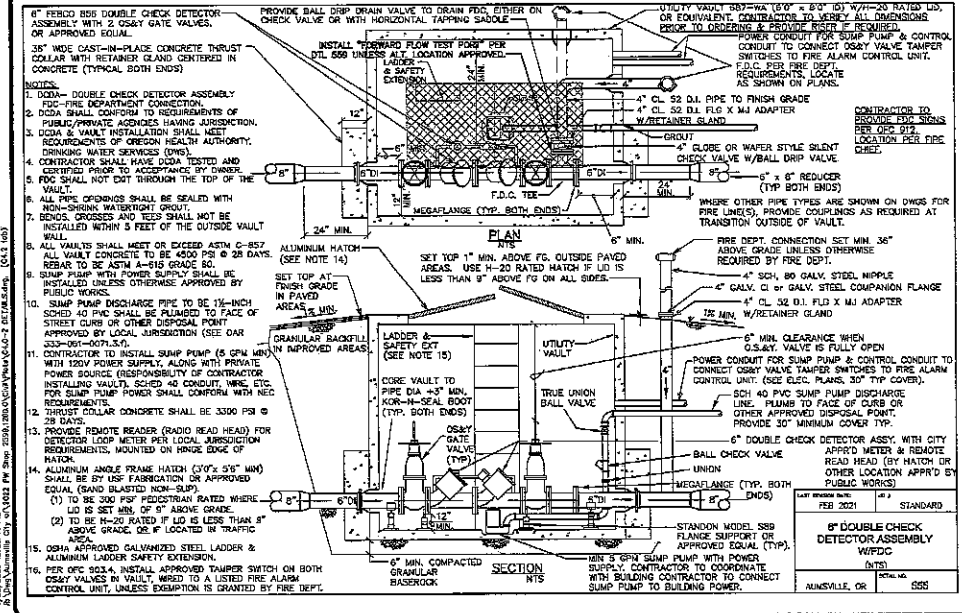
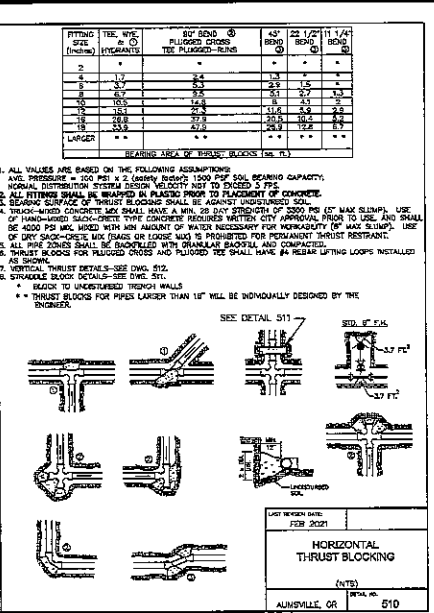
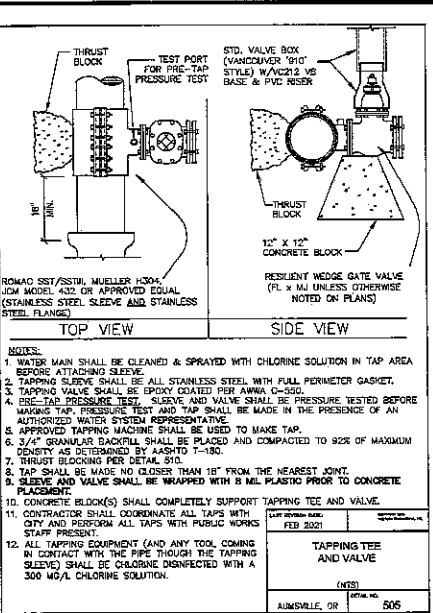
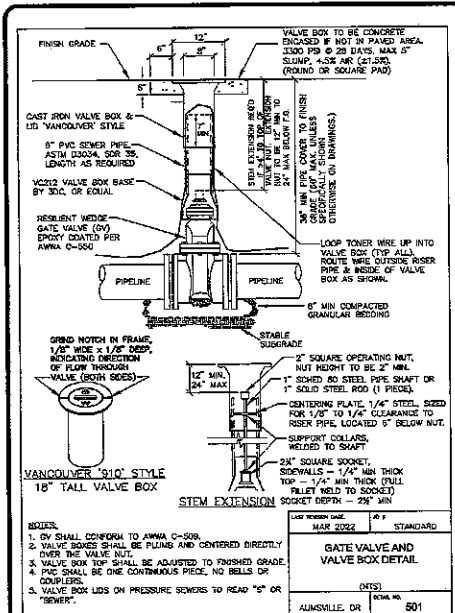
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WESTECH ENGINEERING, INC.
 CONSULTING ENGINEERS AND PLANNERS
 2844 Polaris Parkway, Suite 100, Salem, OR 97301
 Phone: (503) 855-7011 Fax: (503) 855-7008
 E-mail: westech@westech-engineering.com

CITY OF AUMSVILLE, OREGON
 PUBLIC WORKS SHOP

CIVIL DETAILS

DRAWING C4.1
 15 OF 28
 JOB NUMBER 2599.1200.0



NO.	DATE	BY	DESCRIPTION

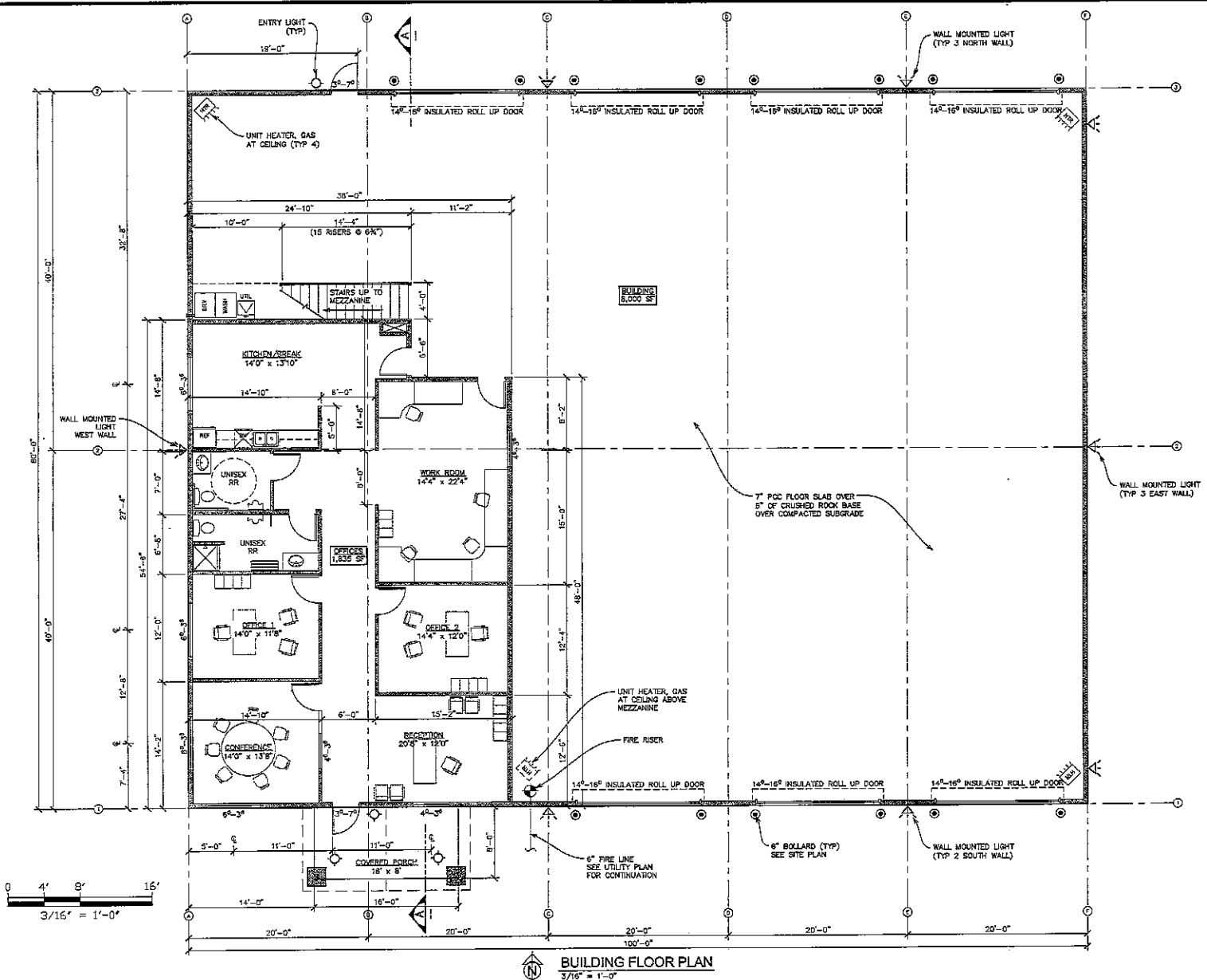
WE
WUSTROCH ENGINEERING, INC.
 CONSULTING ENGINEERS AND PLANNERS
 2841 Columbia Boulevard S.E., Suite 100, Salem, OR 97302
 Phone: (503) 592-2074 Fax: (503) 592-3618
 E-mail: wustroch@wustroch-inc.com

CIVIL DETAILS

CITY OF AUMSVILLE, OREGON
 PUBLIC WORKS SHOP

DRAWING
C4.2
 16 of 28
 JOB NUMBER
2599.1200.0

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BUILDING FLOOR PLAN
 3/16" = 1'-0"

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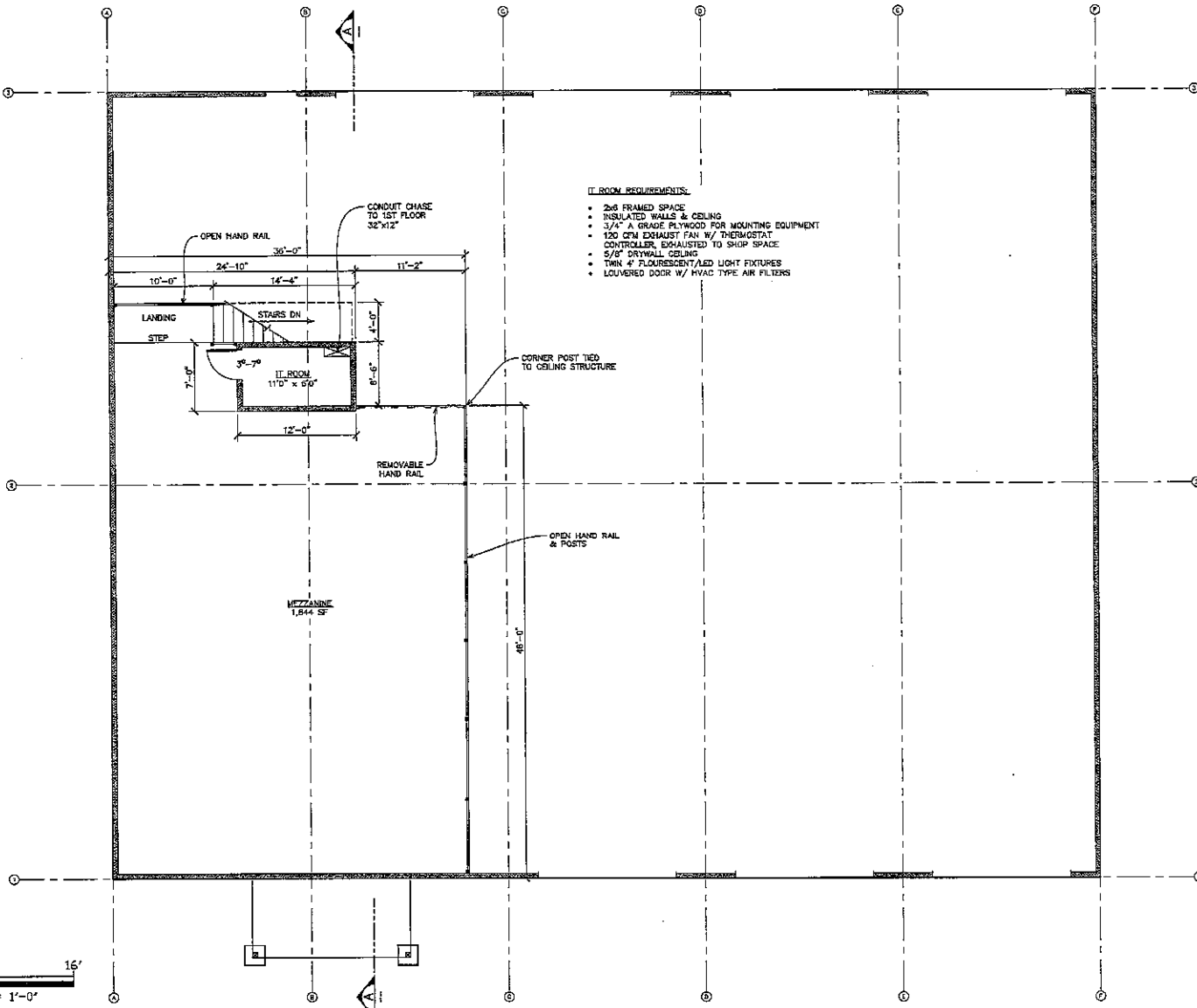
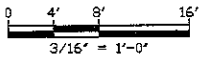


WESTCOAST ENGINEERING, INC.
 CONSULTING ENGINEERS AND PLANNERS
 2841 Fishview Boulevard Dr., S.E., Suite 100, Salem, OR 97302
 Phone: (503) 832-7424 Fax: (503) 846-3995
 E-mail: westcoast@westcoast-engineering.com

CITY OF ASTORIA, OREGON
 PUBLIC WORKS SHOP
SHOP BUILDING FLOOR PLAN

DRAWING
S1.0
 17 of 28
 JOB NUMBER
2599.1200.0

1/22/2023 12:28:37 PM
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IT ROOM REQUIREMENTS:

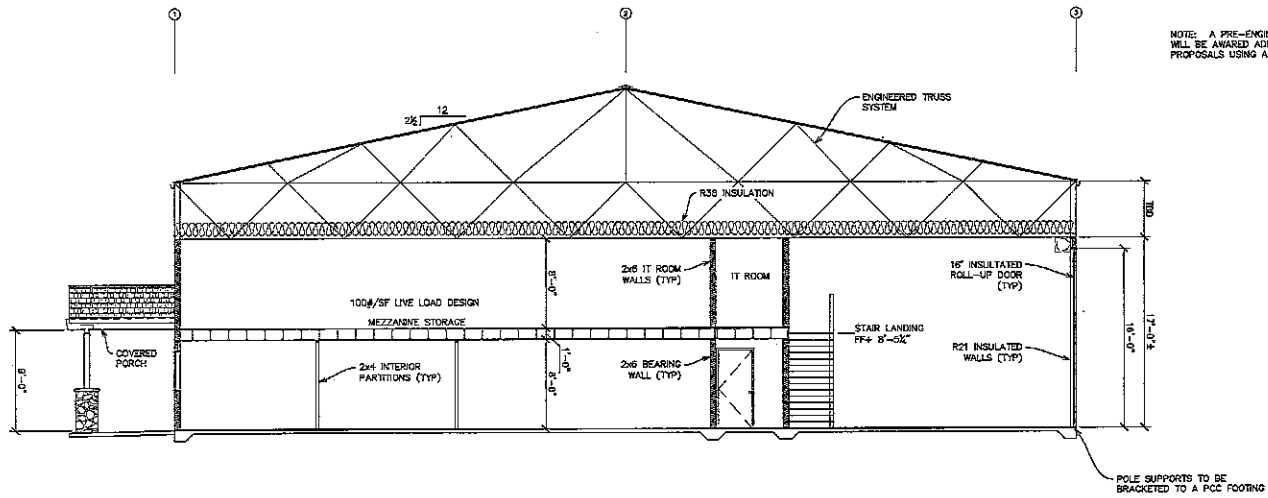
- 2x6 FRAMED SPACE
- INSULATED WALLS & CEILING
- 3/4" A GRADE PLYWOOD FOR MOUNTING EQUIPMENT
- 120 CFM EXHAUST FAN W/ THERMOSTAT CONTROLLER, EXHAUSTED TO SHOP SPACE
- 5/8" DRYWALL CEILING
- TWIN 4' FLOURESCENT/ALED LIGHT FIXTURES
- LOUVERED DOOR W/ HVAC TYPE AIR FILTERS



MEZZANINE FLOOR PLAN
3/16" = 1'-0"

VERIFY SCALE DATE: AUG 2022			WE WERKSTADT ENGINEERING, INC. CONSULTING ENGINEERS AND PLANNERS 3041 Franklin Blvd. S.E. Suite 103, Salem, OR 97322 Phone: (503) 246-7974 Fax: (503) 986-2988 E-mail: info@werkstadting.com
ARCHITECT DATE: 1/22/23 BY: JMS	ENGINEER DATE: 1/22/23 BY: JMS		
CITY OF ASTORIAVILLE, OREGON PUBLIC WORKS SHOP SHOP BUILDING MEZZANINE PLAN		DRAWING S1.1 18 OF 28 JOB NUMBER 2599.1200.0	

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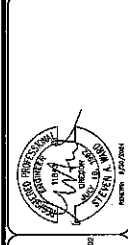


NOTE: A PRE-ENGINEERED STEEL BUILDING WILL BE AWARDED ADDITIONAL POINTS OVER PROPOSALS USING A POLE STRUCTURE.

BUILDING SECTION
 $\frac{3}{16}'' = 1'-0''$

NO.	DATE	REVISION	BY

VERIFY SCALE
 0 = 1'-0" PER FOOT
 1 = 1'-0" PER FOOT
 2 = 1'-0" PER FOOT
 3 = 1'-0" PER FOOT
 4 = 1'-0" PER FOOT
 5 = 1'-0" PER FOOT
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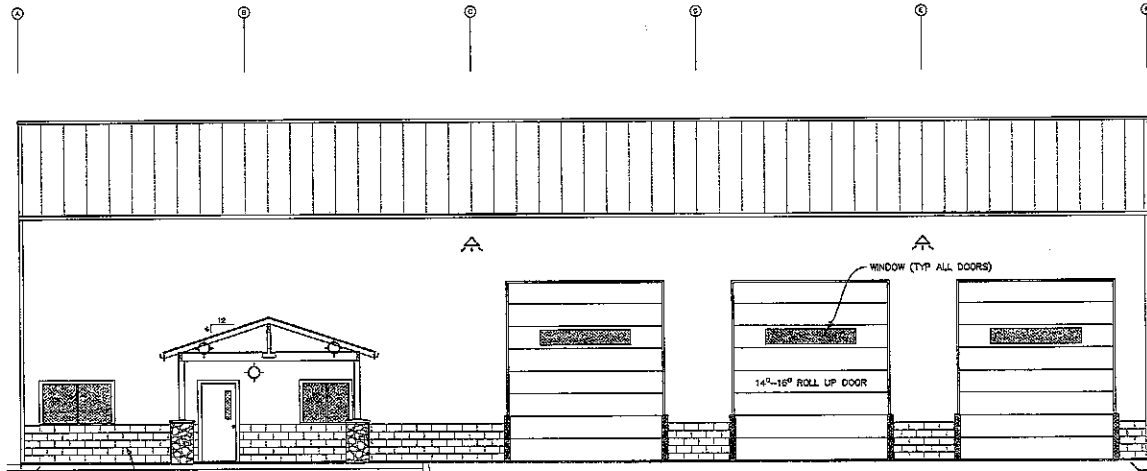


WESTERN ENGINEERING, INC.
 ARCHITECTS, ENGINEERS AND PLANNERS
 3411 Folsom Boulevard, S.E., Suite 100, Salem, OR 97302
 Phone: (503) 586-1124 Fax: (503) 586-3988
 E-mail: westeng@westeng.com
WE

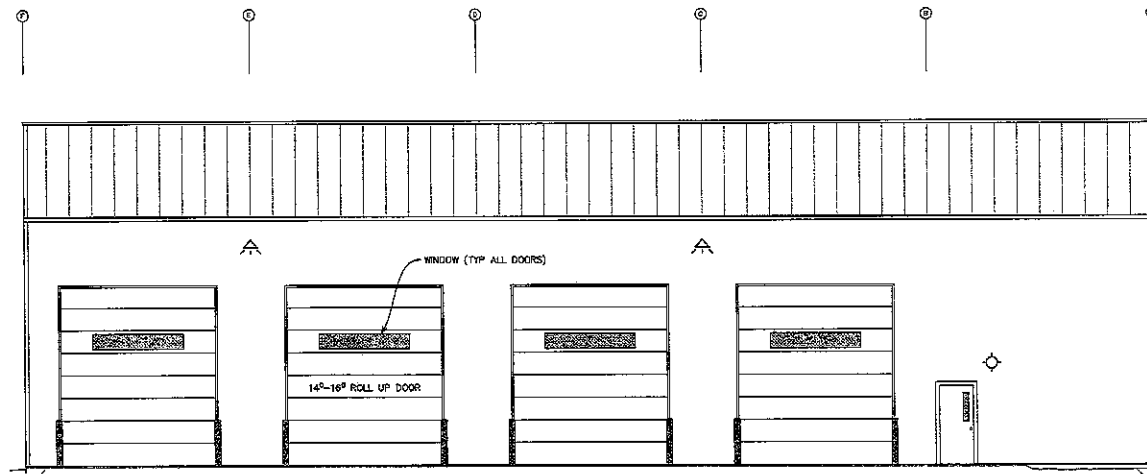
CITY OF ASHLAND, OREGON
 PUBLIC WORKS SHOP
BUILDING SECTION

DRAWING
S2.0
 19 OF 28
 JOB NUMBER
2599.1200.0

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Job 2599.1200.00 City of Ainsville
Drawing: 2599.1200.00 Elevations.dwg (3.5a.kwd)



SOUTH ELEVATION
3/16" = 1'-0"



NORTH ELEVATION
3/16" = 1'-0"

NO.	DATE	DESCRIPTION	BY

VERIFY SCALE
DATE: 01/20/23
DRAWN BY: JAW
CHECKED BY: JAW

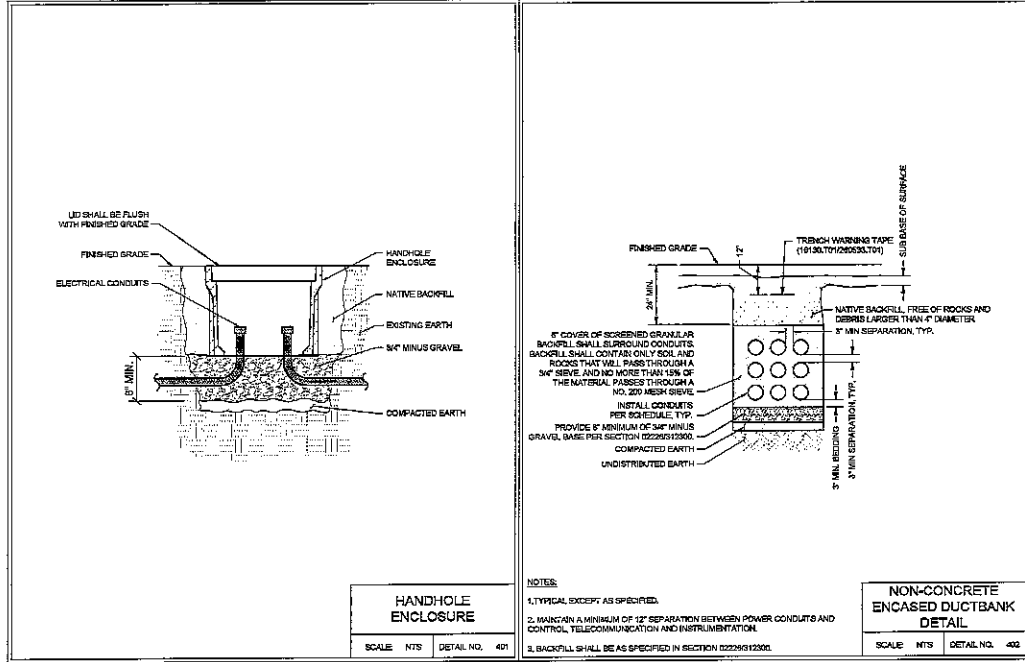


WE
WESTERN ENGINEERING, INC.
CONSULTING ENGINEERS AND PLANNERS
3901 Poplar Industrial Dr., S.E. Suite 105, Astoria, OR 97102
Phone: 503.325.1200 Fax: 503.325.1205
E-mail: west@wehawaii.com

CITY OF AINSVILLE, OREGON
PUBLIC WORKS SHOP
BUILDING ELEVATION

DRAWING
S3.0
20 OF 25
JOB NUMBER
2599.1200.0

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HANDHOLE ENCLOSURE

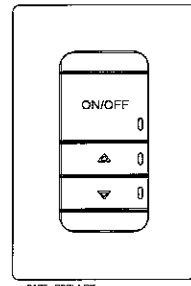
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NOTES:

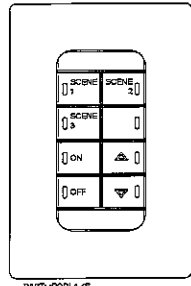
1. TYPICAL EXCEPT AS SPECIFIED.
2. MAINTAIN A MINIMUM OF 12" SEPARATION BETWEEN POWER CONDUITS AND CONTROL, TELECOMMUNICATION AND INSTRUMENTATION.
3. BACKFILL SHALL BE AS SPECIFIED IN SECTION 02220R12300.

NON-CONCRETE ENCASED DUCTBANK DETAIL

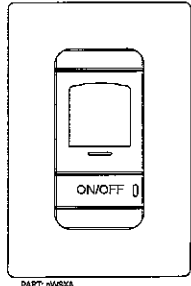
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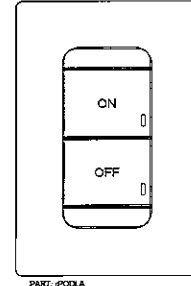
PART: #PODL40X
 STYLE: ON/OFF + RAISE/LOWER, WIRELESS
 LINE VOLTAGE POWERED
 TAG: LV1



PART: #PODL40S
 STYLE: ON/OFF + RAISE/LOWER, ZONES
 TAG: LV2



PART: #AVSXA
 STYLE: ON/OFF WITH INTEGRAL OCC SENSOR
 TAG: LV2



PART: #PODL
 STYLE: ON/OFF
 TAG: LV4

E2 LIGHTING CONTROL SWITCH STATION DETAILS

SCALE: NTS
 NOTES: [1] CONTRACTOR SHALL VERIFY CUSTOM ENGRAVING WITH OWNER PRIOR TO ORDERING.
 [2] LINE VOLTAGE POWERED WIRELESS SWITCHES SHALL BE WIRED TO THE LOCAL RECEPTACLE BRANCH CIRCUIT FOR LOCAL POWER.

NO.	DATE	BY	DESCRIPTION

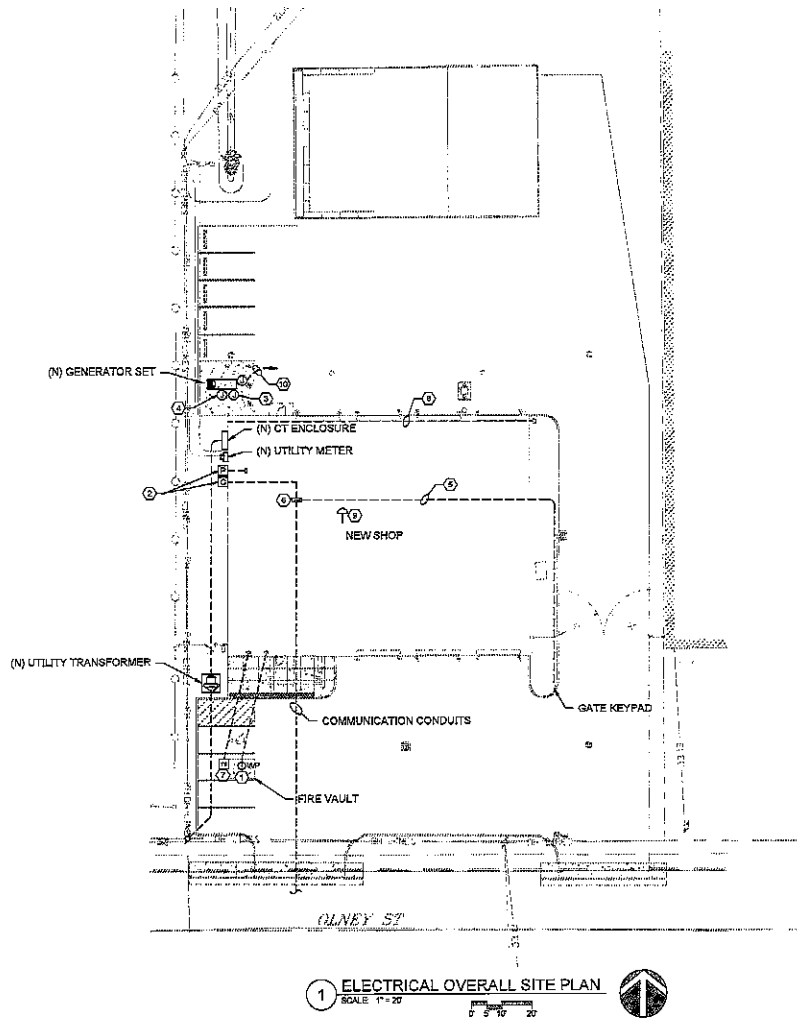
Landis Consulting
 ENGINEERING SERVICES
 1000 SW 10TH AVE
 SUITE 200
 PORTLAND, OREGON 97204
 TEL: (503) 253-1111 FAX: (503) 253-1112
 WWW.LANDISCONSULTING.COM

WESTSIDE ENGINEERING, INC.
 CONSULTING ENGINEERS AND PLUMBERS
 3341 NE Adams, Portland, OR 97206
 Phone: (503) 882-2474 Fax: (503) 882-3888
 E-mail: westside@westside-eng.com

CITY OF ASTORIA, OREGON
PUBLIC WORKS SHOP
ELECTRICAL DETAILS

DRAWING
EO.3
 23 of 28
JOB NUMBER
2599.1200.0

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 LANDIS CONSULTING ENGINEERS AND PLANNERS
 12599 OLNEY ST
 AVONDALE, INDIANA 46015



GENERAL SHEET NOTES

1. CONTRACTOR SHALL COORDINATE WITH THE POWER COMPANY AND COMMUNICATIONS COMPANY TO VERIFY THE EXACT CONDUIT SIZES AND LOCATIONS AS PART OF THE DESIGN/BUILD DELIVERY METHOD.
2. PROVIDE INTERNET AND PHONE (POTS) SERVICE. CONTRACTOR SHALL COORDINATE WITH THE COMMUNICATIONS COMPANY TO VERIFY EXACT REQUIREMENTS.


SHEET KEY NOTES

1. FIRE VAULT SIMPLEX FOR SUMP PUMP.
2. PROVIDE IN-GROUND BOXES FOR FUTURE POWER AND CONTROL CONDUITS. PROVIDE 1 - 2.0" CONDUIT FOR POWER FROM PANEL A, AND 2 - 1.0" CONDUIT FOR CONTROL FROM SCADAMT ROOM.
3. PROVIDE BRANCH CIRCUITS FOR GENERATOR BLOCK HEATER AND BATTERY CHARGER.
4. PROVIDE CONDUIT AND WIRING FOR AT'S START COMMAND CONTROL WIRING.
5. PROVIDE 1.0" CONDUIT FOR FUTURE ACCESS CONTROL CONNECTION. COORDINATE EXACT LOCATION WITH OWNER.
6. CONDUITS UP TO MDF ROOM. UTILIZE CHASE.
7. PROVIDE FIRE ALARM MONITORING OF THE FIRE VAULT AS REQUIRED BY CODE. PROVIDE A 3/4" CONDUIT TO THE BUILDING FOR FIRE ALARM WIRING.
8. PROVIDE 1.0" CONDUIT FOR IRRIGATION SOLENOID POWER.
8. PROVIDE WEATHERHEAD AND 2.0" CONDUIT FROM MDF ROOM TO ROOF FOR FUTURE TELEMETRY RADIO ANTENNA. COORDINATE FINAL LOCATION WITH OWNER PRIOR TO INSTALLATION. SEE NOTE #6 ON SHEET E3.0.
10. PROVIDE 1.0" CONDUIT AND PULL STRING TO THE MDF ROOM ON THE MEZZANINE FOR FUTURE GENERATOR CONTROLLER MONITORING.

NO.	DATE	DESCRIPTION	BY

VERIFY SCALE
 0 10 20 30 40 50 60 70 80 90 100
 INCHES
 0 10 20 30 40 50 60 70 80 90 100
 FEET

Landis Consulting
 ENGINEERING ARCHITECTS AND PLANNERS
 12599 OLNEY ST
 AVONDALE, IN 46015
 TEL: (317) 938-1234
 FAX: (317) 938-1234
 WWW.LANDISCONSULTING.COM

WESTBEC ENGINEERING, INC.
 CONSULTING ENGINEERS AND PLANNERS

 12599 OLNEY ST, S.E.
 AVONDALE, IN 46015
 Phone: (317) 938-1234 Fax: (317) 938-1234
 E-mail: westbec@westbec-inc.com

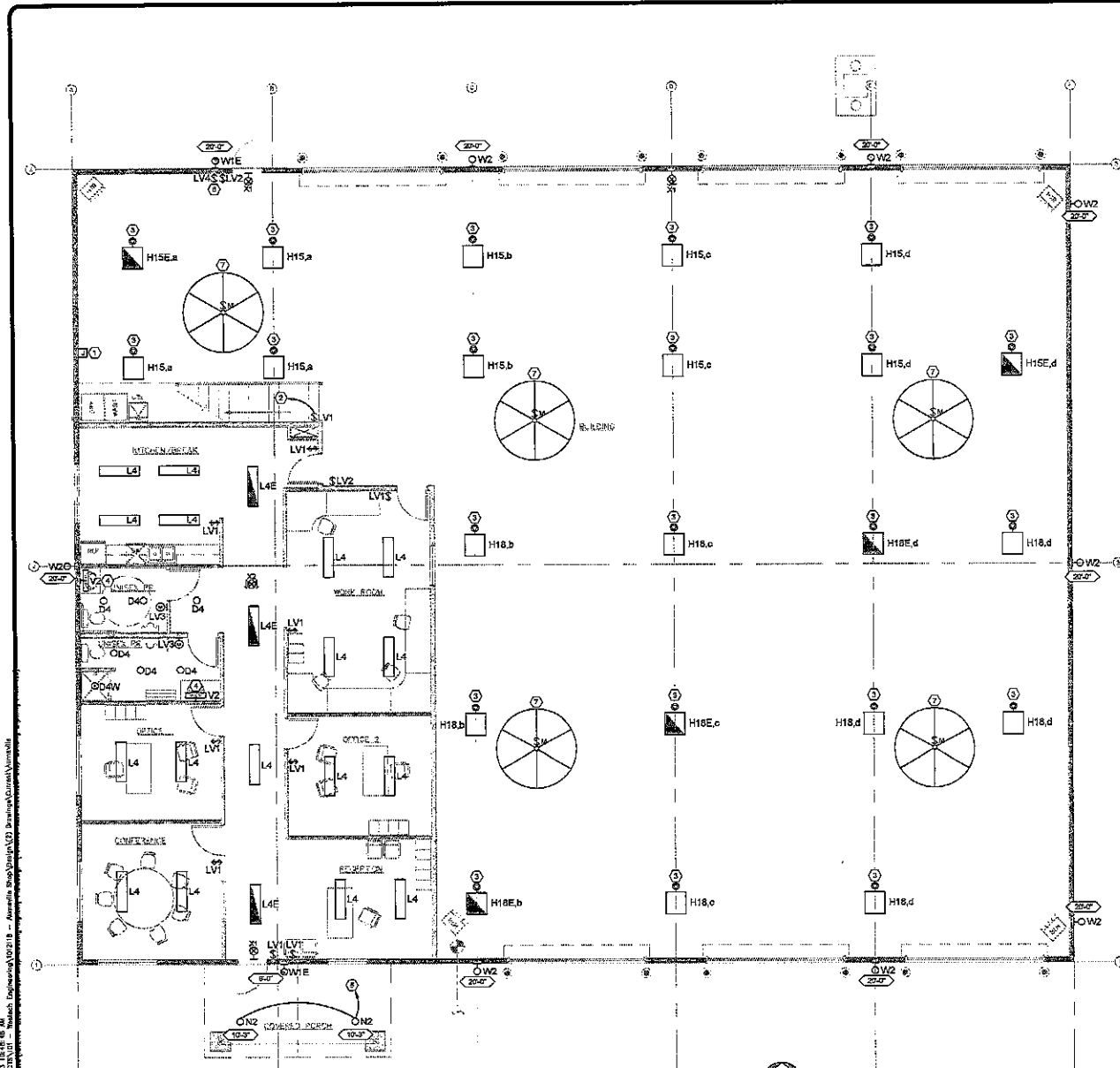
CITY OF AVONDALE, OREGON
 PUBLIC WORKS SHOP

ELECTRICAL OVERALL SITE PLAN

DRAWING
 E1.0
 of 28

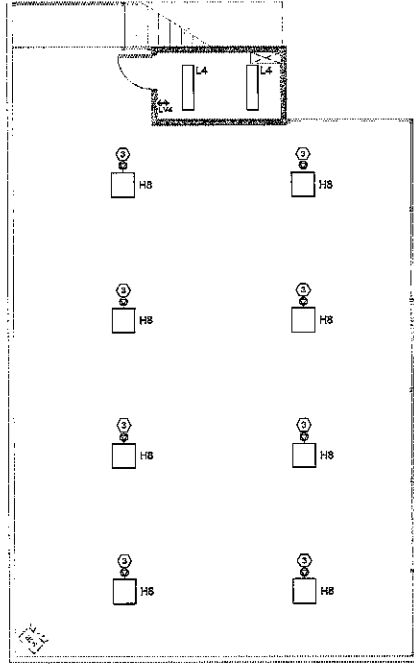
JOB NUMBER
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1 ELECTRICAL SHOP BUILDING LIGHTING PLAN
 SCALE 3/16" = 1'-0"

- SHEET KEY NOTES**
1. ECLYPSE MODULE.
 2. WIRE TO LIGHTS IN MEZZANINE.
 3. PROVIDE NEMA TWISTLOCK RECEPTACLE TO MATCH CORD AND PLUG ON LUMINAIRE.
 4. PROVIDE NIGHT AIR WIRELESS RELAY TO CONTROL THE VZ LUMINAIRE WITH THE OTHER NIGHT AIR FIXTURES IN THE SPACE.
 5. PROVIDE NIGHT AIR WIRELESS RELAY TO CONTROL THE N2 FIXTURES WITH THE OTHER EXTERIOR FIXTURES.
 6. SWITCH SHALL CONTROL EXTERIOR LIGHT FIXTURES.
 7. PROVIDE SIX BLADE INDOOR CEILING FAN WITH NICKEL FINISH. CEILING FAN SHALL HAVE WALL CONTROLLER ADJACENT TO LIGHT SWITCHES. CEILING FAN SHALL BE 96" IN DIAMETER AND 16" H MAXIMUM. PROVIDE HUBBELL INDUSTRIAL MODEL NUMBER P26018, OR APPROVED EQUAL.



2 MEZZANINE LIGHTING PLAN
 SCALE 3/16" = 1'-0"

NO.	DATE	DESCRIPTION	BY

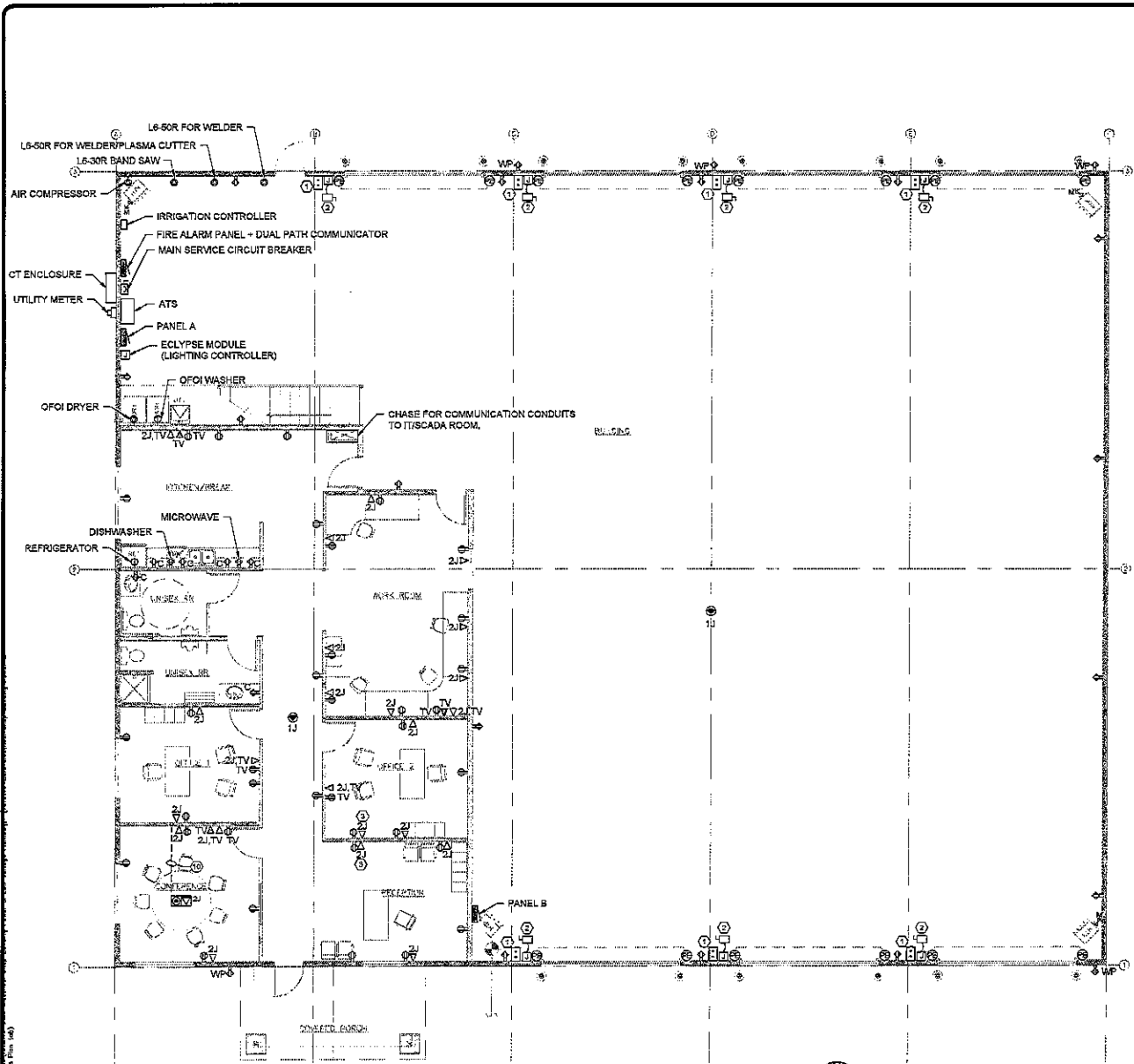
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 DATE: 1/20/21
 DRAWN: JLD
 CHECKED: JLD
 IN CHARGE: JLD
 QUOTE: JAN 2021

Lanette Consulting
 ENGINEERING SERVICES
 1000 N. W. 10th St., Suite 100
 Fort Lauderdale, FL 33304
 www.lanetteconsulting.com

WE
WESTON ENGINEERING, INC.
 CONSULTING ENGINEERS AND PLANNERS
 3001 Harbor Boulevard, N.E., Suite 100, Tallahassee, FL 32302
 Phone: 904.433.4444 Fax: 904.433.4444
 E-mail: weston@weston-inc.com

CITY OF ALBUQUILME, OREGON
 PUBLIC WORKS SHOP
ELECTRICAL SHOP BUILDING LIGHTING PLAN

DRAWING
E2.0
 26 of 28
 JOB NUMBER
2599.1200.0



1 ELECTRICAL SHOP BUILDING POWER & LOW VOLTAGE PLAN
SCALE: 3/8" = 1'-0"

GENERAL SHEET NOTES

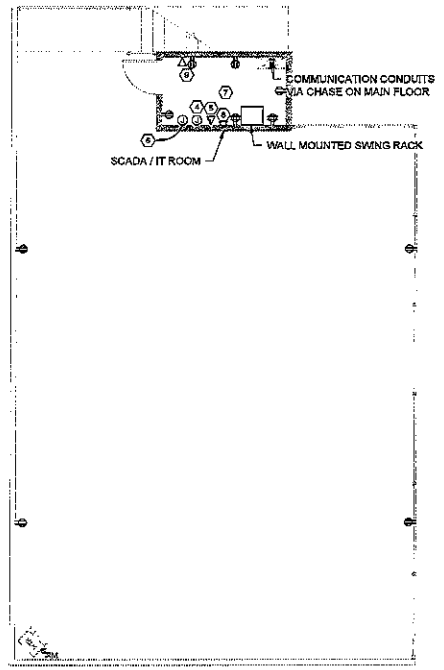
1. WIRELESS ACCESS POINTS IDENTIFIED ON THE DRAWINGS SHALL BE OWNER FURNISHED. CONTRACTOR SHALL PROVIDE ETHERNET OUTLET.
2. CONTRACTOR SHALL AS-BUILT CIRCUIT NUMBERS THAT EQUIPMENT IS FED FROM ON PANEL A OR B.
3. CONTRACTOR SHALL PROVIDE ALL BRANCH CIRCUIT CONNECTIONS TO ALL HVAC/PLUMBING EQUIPMENT. THESE SYSTEMS ARE A DELEGATED DESIGN/BUILD. REFER TO SECTION 28 00 00 FOR ADDITIONAL INFORMATION.

SHEET KEY NOTES

1. OVERHEAD DOOR PUSHBUTTONS STATION - PROVIDE 1" FROM DOOR CONTROLLER TO PUSHBUTTON STATION. INSTALL PER MANUFACTURER'S INSTRUCTIONS.
2. OVERHEAD DOOR COORDINATE LOCATION WITH ARCHITECT PRIOR TO INSTALLATION.
3. DEDICATED 20-AMP CIRCUIT AND DATA FOR MAP PRINTER.

SHEET KEY NOTES

4. DEDICATED 120-VOLT, 20-AMP CIRCUIT FOR TELEMETRY CONTROL PANEL. COORDINATE FINAL LOCATION WITH OWNER.
5. PHONE LINE FOR FUTURE TELEMETRY AUTODIALER. COORDINATE FINAL LOCATION WITH OWNER.
6. PROVIDE ONE (1) 2.0" CONDUIT FROM TELEMETRY LOCATION TO ROOF FOR FUTURE ANTENNA. COORDINATE THE EXACT LOCATION WITH OWNER PRIOR TO INSTALLATION. TERMINATE THE CONDUIT ON THE ROOF WITH A 2.0" WEATHERHEAD.
7. PROVIDE FIRE RATED BACKBOARD UP TO 72" AFF ON ALL WALLS IN THIS ROOM.
8. PROVIDE TECHNOLOGY MAIN GROUND BUS AND #20 CU TO ELECTRICAL SERVICE.
9. 120-VOLT, 20-AMP DEDICATED CIRCUIT AND DATA OUTLET FOR FUTURE SCADA COMPUTER. COORDINATE LOCATION WITH OWNER PRIOR TO INSTALLATION.
10. PROVIDE TWO (2) 1.0" CONDUITS TO ACCESSIBLE CEILING ON TV WALL OR FUTURE AV CONNECTIONS.



2 MEZZANINE POWER & LOW VOLTAGE PLAN
SCALE: 3/8" = 1'-0"

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 Plot Device: HP DesignJet T120

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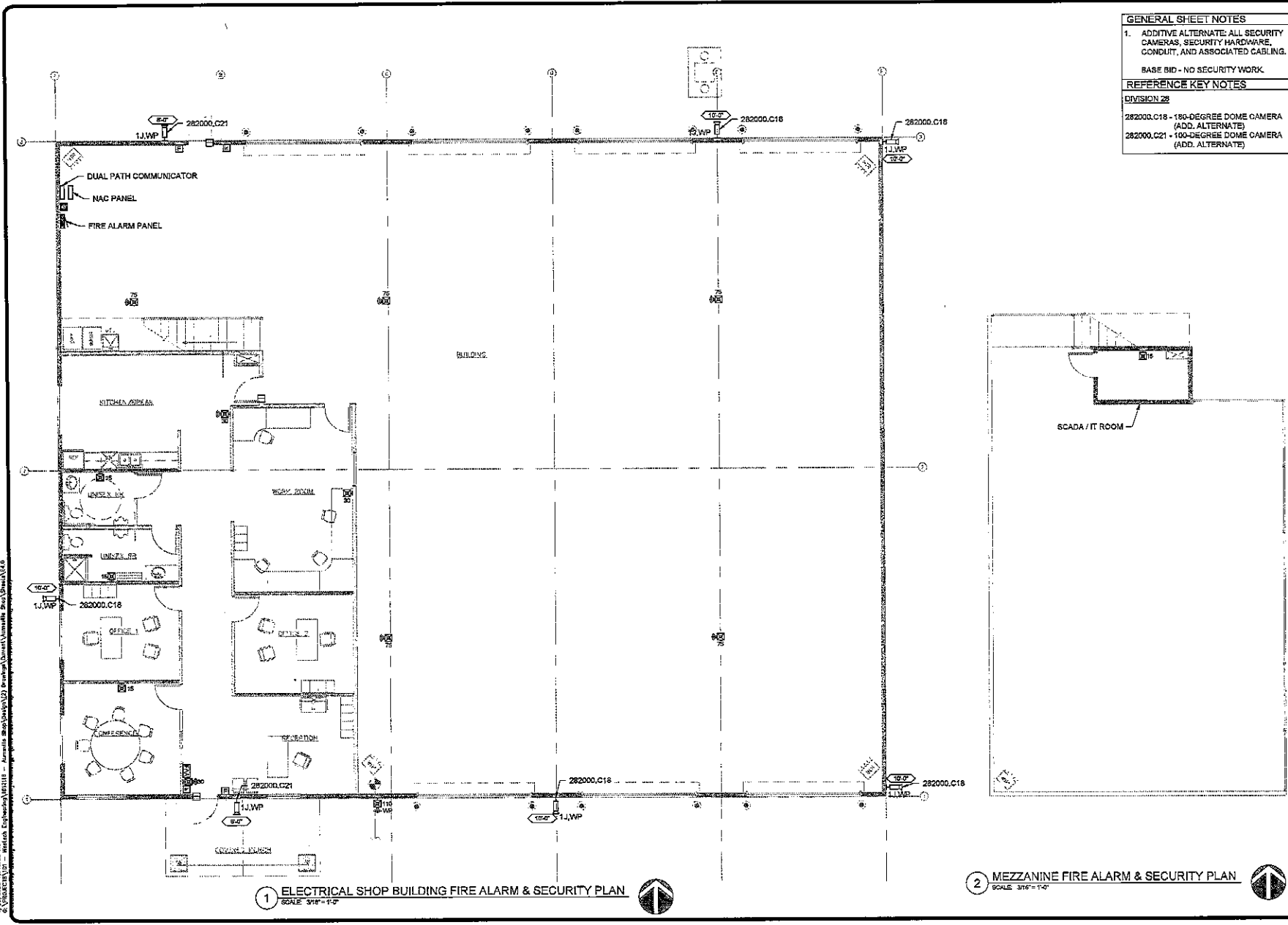
Landis Consulting
 ENGINEERING SURVEYING
 10111 112th Ave. S.E.
 Everett, WA 98203
 Tel: (425) 311-1111
 Fax: (425) 311-1112
 www.landisconsulting.com

WESTERN ENGINEERING, INC.
 CONSULTING ENGINEERS AND PLANNERS
 2001 Drake Technical Dr., S.E., Suite 100, Salem, OR 97302
 Phone: (503) 555-7774 Fax: (503) 561-7908
 E-mail: west@western-engine.com

CITY OF ALBANYVILLE, OREGON
 PUBLIC WORKS SHOP
**ELECTRICAL SHOP BUILDING
 POWER & LOW VOLTAGE PLAN**

DRAWING
E3.0
 27 OF 28
 JOB NUMBER
2599.1200.0

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1 ELECTRICAL SHOP BUILDING FIRE ALARM & SECURITY PLAN
SCALE 3/16" = 1'-0"

2 MEZZANINE FIRE ALARM & SECURITY PLAN
SCALE 3/16" = 1'-0"

GENERAL SHEET NOTES
 1. ADDITIVE ALTERNATE, ALL SECURITY CAMERAS, SECURITY HARDWARE, CONDUIT, AND ASSOCIATED CABLING.
 BASE BID - NO SECURITY WORK.

REFERENCE KEY NOTES
 DIVISION 28
 282000.C18 - 180-DEGREE DOME CAMERA (ADD. ALTERNATE)
 282000.C21 - 100-DEGREE DOME CAMERA (ADD. ALTERNATE)

NO.	DATE	DESCRIPTION	BY

VARY SIZE
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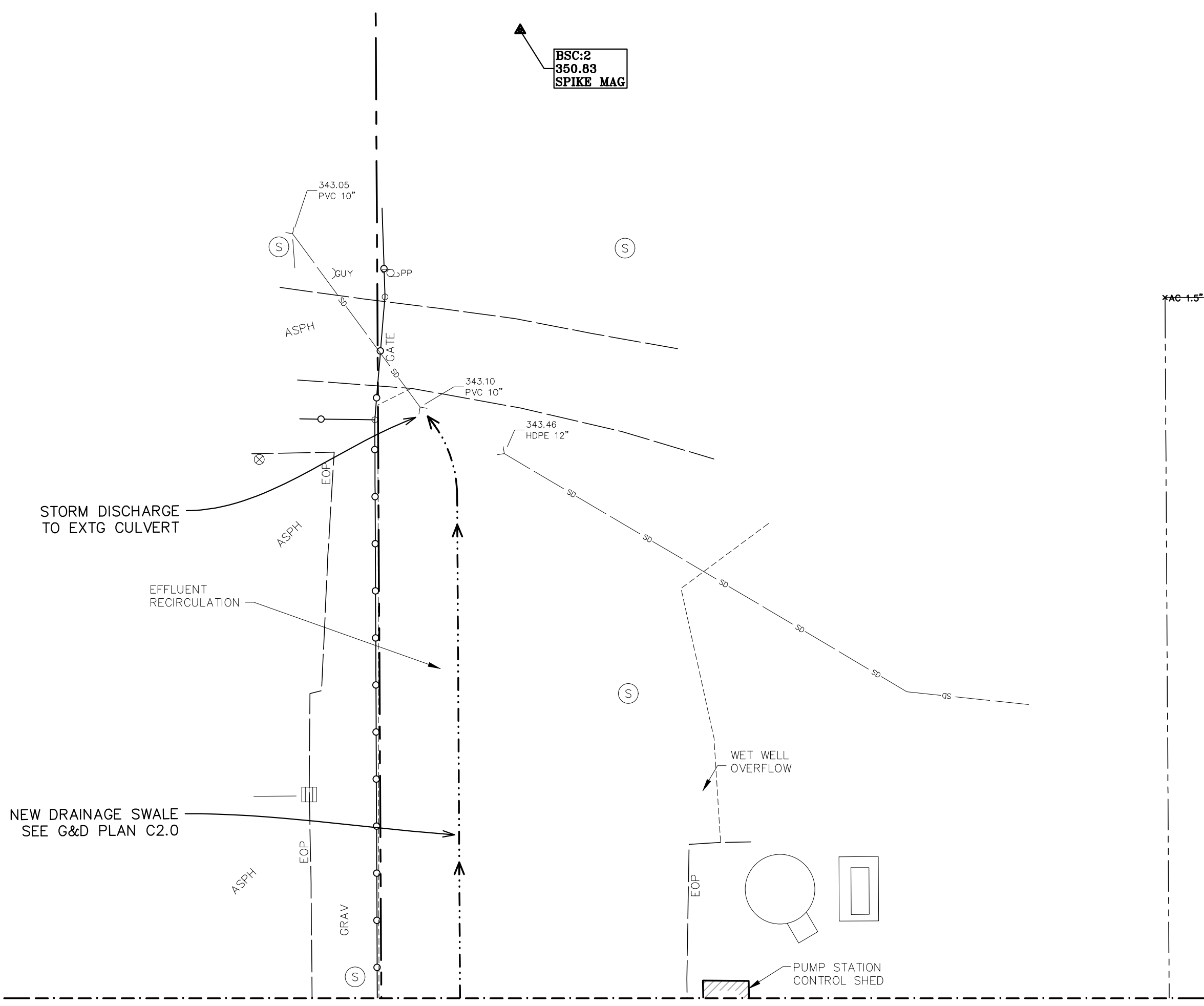
Landis Consulting
 ENGINEERING ARCHITECTURE
 201 N. 10th St.
 Portland, OR 97227
 www.landisconsulting.com

ME
 METZGER ENGINEERING, INC.
 CONSULTING ENGINEERS AND PLANNERS
 2000 N. W. 10th St., Suite 100, Portland, OR 97227
 Phone: (503) 805-2018 Fax: (503) 805-2048
 E-mail: info@me-engineers.com

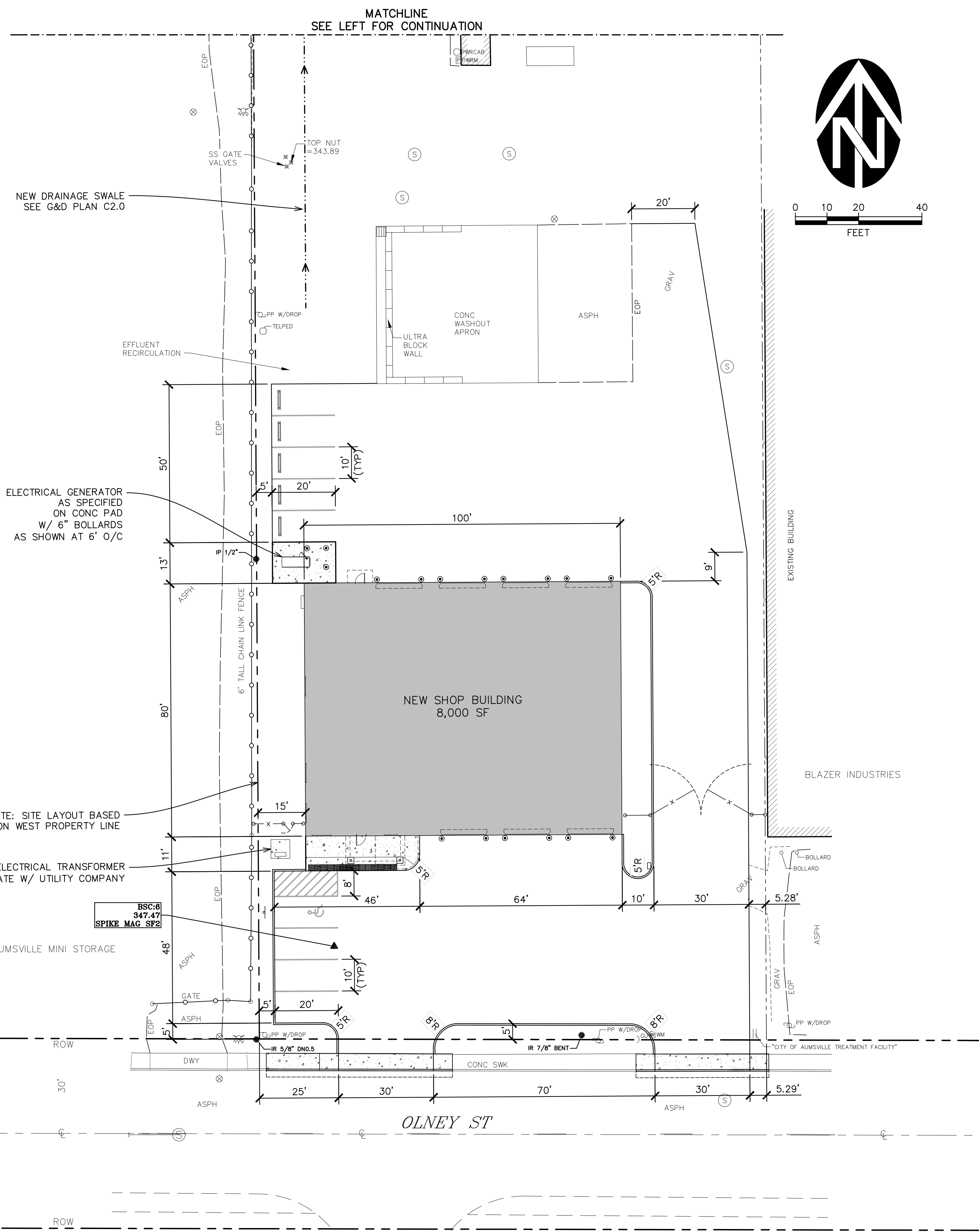
CITY OF AMASHVILLE, OREGON
 PUBLIC WORKS SHOP
**ELECTRICAL SHOP BUILDING
 FIRE ALARM & SECURITY
 PLAN**

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 OF
 28
 JOB NUMBER
 2599.1200.0

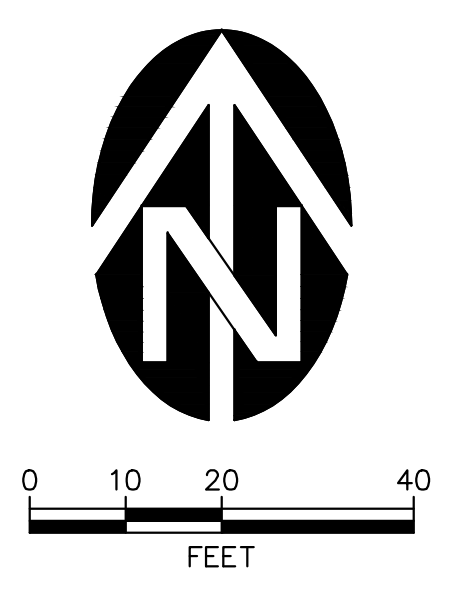
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MATCHLINE
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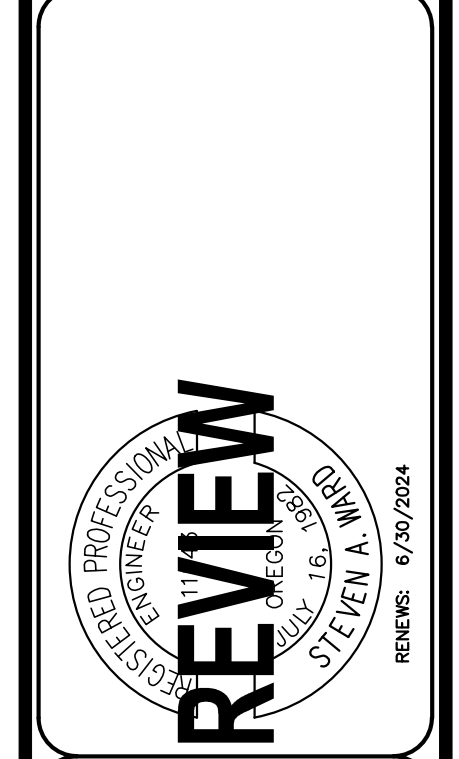
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NO.	DATE	DESCRIPTION	BY
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 IF NOT ONE INCH ON SCALES ACCURACLY

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 DRN. TMT
 CKD. SAW
 DATE: AUG 2022



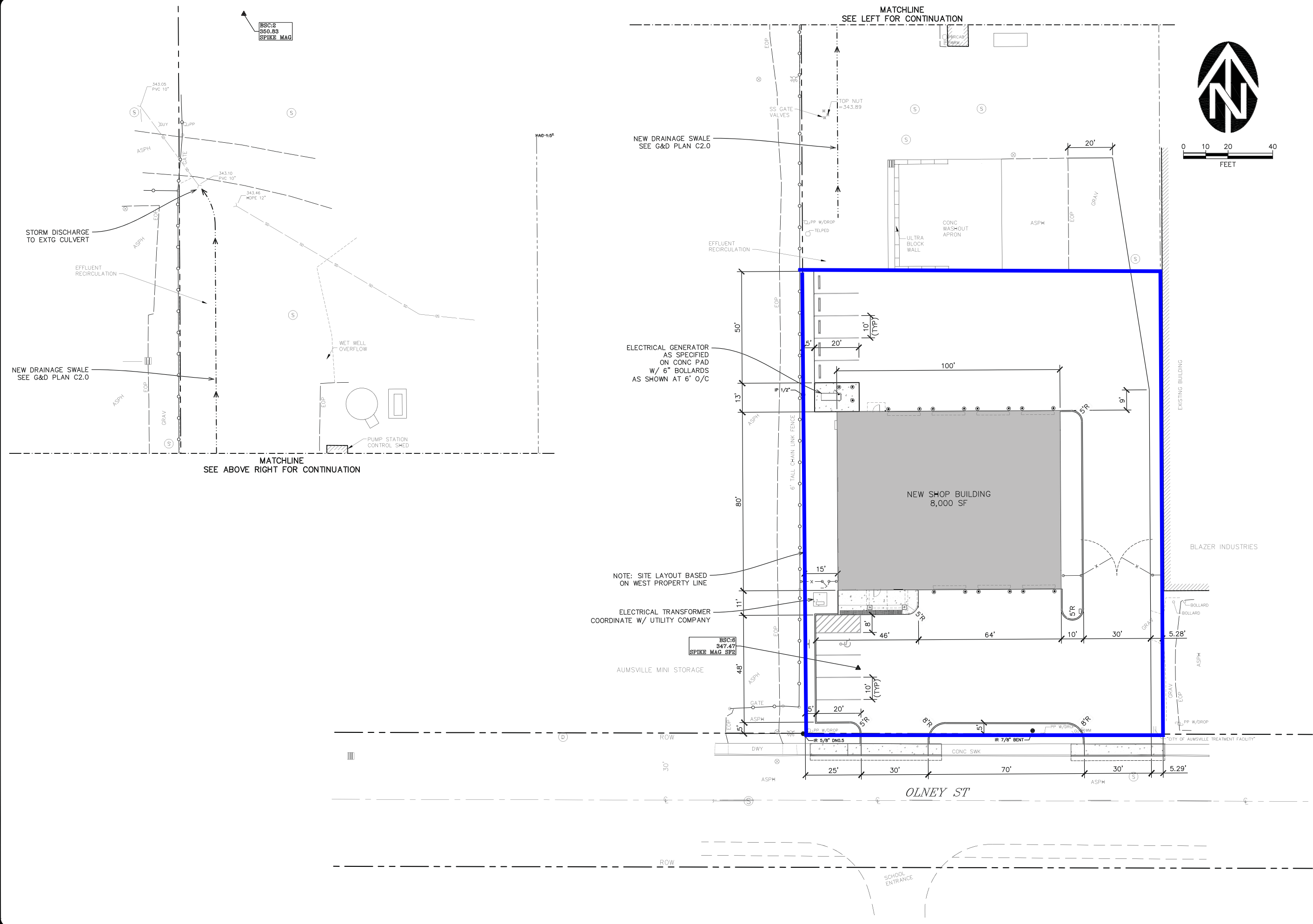
WESTTECH ENGINEERING, INC.
 CONSULTING ENGINEERS AND PLANNERS

3841 Fairview Industrial Dr. S.E., Suite 100, Salem, OR 97302
 Phone: (503) 585-2474 Fax: (503) 585-3966
 E-mail: westtech@westtech-eng.com

CITY OF AUMSVILLE, OREGON
 PUBLIC WORKS SHOP
 SITE LAYOUT PLAN

DRAWING
G1.0
 3 OF 28
 JOB NUMBER
 2599.1200.0

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NO.	DATE	DESCRIPTION	BY
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 IF NOT ONE INCH ON SCALES ACCORDINGLY

DSN. SAW
 DRN. TMT
 CKD. SAW
 DATE: AUG 2022

REVIEW

REGISTERED PROFESSIONAL ENGINEER
 STATE OF OREGON
 LICENSE NO. 16
 STEVEN N. JAY
 RENEWS: 6/29/2024

WESTTECH ENGINEERING, INC.
 CONSULTING ENGINEERS AND PLANNERS

3841 Fairview Industrial Dr. S.E., Suite 100, Salem, OR 97302
 Phone: (503) 585-2474 Fax: (503) 585-3986
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CITY OF AUMSVILLE, OREGON
 PUBLIC WORKS SHOP

SITE LAYOUT PLAN

DRAWING
 G1.0
 3 OF 28

JOB NUMBER
 2599.1200.0



David W. Kinney
Community Development Consultant
Parks Planning Consultant for the City of Aumsville
791 E. Hollister St., Stayton, OR 97383
Office: (503) 769-2020 Cell: (503) 551-0899
Email: dwkinney@wvi.com

AUMSVILLE PLANNING COMMISSION

AUMSVILLE PARKS MASTER PLAN STAFF REPORT and FINDINGS

STAFF REPORT DATE: April 13, 2023

HEARING DATE: April 20, 2023

FILE: *Aumsville Parks Master Plan Amendments – Eastside Community Park*

APPLICANT: City of Aumsville

EXHIBITS: *Aumsville Parks Master Plan Amendments*
EXHIBIT A Appendix A-8 “Eastside Community Plan Master Plan”
EXHIBIT B Chapter 3 “Demographics” Update
EXHIBIT C State Comprehensive Outdoor Recreation Plan Memo to the City of Aumsville dated October 6, 2022.

REQUEST: Adoption of Eastside Community Park Master Plan Narrative and updated Chapter 3 “Demographics” amendments to the *Aumsville Parks Master Plan*

CRITERIA:

- 1. Statewide Planning Goals**
 - ***Goal 1 – Citizen Involvement***
 - ***Goal 2 – Land Use Planning***
 - ***Goal 8 – Recreational Needs***
- 2. Statewide Outdoor Recreation Plan (SCORP)**

I. Proposal

The City of Aumsville received a grant from the Oregon Parks and Recreation Department to prepare an amendment to the “Aumsville Parks Master Plan”. The retained David Kinney, Community Development Consultant, and Brian Bainson, Landscape Architect, Quatrefoil, Inc., to prepare the amendments to add a master plan for the 22.57-acre Eastside Community Park site. This site was purchased by the City of

Aumsville in August 2019. During the past year, a citizens advisory committee and city staff member Kirsti Pizutto have worked with the consultants to develop master plan designs and amendments to the plan document.

As part of the planning process the city invited residents to attend two community open houses in November 2022 and March 2023 to view park design proposals for the Eastside Community Park. The city also met with students from the Aumsville Elementary School and Cascade Jr. High School. Copies of the conceptual park designs were also posted on the city's webpage and Facebook page. Citizens were invited to comment on the park designs in two on-line surveys.

At each open house and school visit, community members and students reviewed two or three conceptual plans for the Eastside Community Park site and were invited to provide verbal and written comments and suggestions on each conceptual plan. At the conclusion of the open houses, landscape architect Brian Bainson prepared a modified design for the community park reflecting the suggestions and priorities generated by local residents.

After the last open house on March 13, 2023 the citizens advisory members reviewed and recommended a final Eastside Community Park master plan design and a list of recommended improvements for the park.

II. BACKGROUND INFORMATION

A. Application, Land Use Procedure and Review Requirements:

The adoption of an updated parks master plan is a legislative amendment to the *Aumsville Comprehensive Plan*. At the conclusion of the public hearing process, the City Council must adopt an ordinance approving the amendments to the *Aumsville Parks Master Plan*.

B. Public Hearing and Notices of Public Hearing:

The Aumsville Planning Commission will hold a public hearing on April 20, 2023. The Planning Commission hearing will provide citizens with another opportunity to comment on the plan and to enable the consultants to finalize park design drawings to be included in the final master plan document.

At the conclusion of the hearings, the Planning Commission will deliberate and make a recommendation to the City Council to either adopt the plan or direct the consultant to make modifications to the plan. The City Council will hold a public hearing and then make a decision to adopt the plan amendments.

Notice of any public hearings must be provided to DLCD and community members. A public hearing notice was published 10 days prior to the Planning Commission hearing and must be published more than 10 days prior to the City Council's public hearing.

C. Planning Commission Hearing and Review:

The public hearing provides the Aumsville Planning Commission will an opportunity to review the plan and make a recommendation to the City Council. The consultant encourages the Commissioners to:

1. Review and ask questions about the Eastside Park Master Plan design and narrative.
2. Review the recommended list of park improvements.
3. Review the updated demographic data in Chapter 3 “Demographics.”

Landscape Architect Brian Bainson has not completed the final edits to the Eastside Community Park master plan drawing or the final color rendering for the Eastside Community Park. The final color rendering will replace Map E-2 at the end of document.

III. FINDINGS

STATEWIDE PLANNING GOALS

GOAL 1: CITIZEN INVOLVEMENT: TO DEVELOP A CITIZEN INVOLVEMENT PROGRAM THAT INSURES THE OPPORTUNITY FOR CITIZENS TO BE INVOLVED IN ALL PHASES OF THE PLANNING PROCESS.

The *Aumsville Parks Master Plan* was developed using a public involvement process to solicit community comments on the proposed parks plan document and park design drawings for each of the City of Aumsville park sites. As part of the public engagement process the City of Aumsville utilized the following activities:

1. Appointed the Aumsville citizens advisory committee to serve as the city’s public involvement committee for the development of the parks plan. The committee held five meetings from October 2022 to March 2023 to meet with the consultants.
2. The city posted copies of the proposed park design plans on the city’s web page and Facebook page to inform the community about the park planning process.
3. The city sent flyers to residents inviting them to complete on-line surveys. The surveys asked residents to identify priority park facility improvements that should be included in the Eastside Community Park design. More than 120 citizens responded to the two surveys, and more than half provided written comments on the design options.
4. The citizens advisory community hosted two public open houses to present design concepts to the community. The open houses were lightly attended with no more than 40 people participating in the two sessions.
5. The consultants met with students in twelve classrooms at Aumsville Elementary School and Cascade Jr. High School to solicit comments on the proposed park design drawings. Approximately 400 elementary and middle school students provided verbal and written comments on the proposed park designs.
6. The Aumsville Planning Commission will hold a public hearing on April 20, 2023 to review the proposed amendments to add the Eastside Community Park Master Plan to the *Aumsville Parks Master Plan*.
7. The Aumsville City Council will hold a public hearing to consider an ordinance to formally adopt the “Eastside Community Park Master Plan” and an updated Chapter 3 “Demographics” as an amendment to the *Aumsville Parks Master Plan*.

The proposal complies with Goal 1.

GOAL 2: LAND USE PLANNING: TO ESTABLISH A LAND USE PLANNING PROCESS AND POLICY FRAMEWORK AS A BASIS FOR ALL DECISIONS AND ACTIONS RELATED TO THE USE OF LAND AND TO ASSURE AN ADEQUATE FACTUAL BASE FOR SUCH DECISIONS AND ACTIONS.

The proposed parks plan amendment is consistent with Goal 2 because the Comprehensive Plan Amendment followed the land use planning process established by the existing Comprehensive Plan, Development Code and State Statute for a legislative plan amendment. See discussion of public hearing process above. As discussed in the findings related to Goal 8 below, the Comprehensive Plan Amendment addressed Goal 8 requirements to plan for needed public recreation facilities. The proposal complies with Goal 2.

GOAL 3: AGRICULTURAL LANDS: TO PRESERVE AND MAINTAIN AGRICULTURAL LANDS.

GOAL 4: FOREST LANDS: TO CONSERVE FOREST LANDS

Goal 3 and Goal 4 do not apply within adopted, acknowledged urban growth boundaries.

GOAL 5: OPEN SPACES, SCENIC AND HISTORIC AREAS, AND NATURAL RESOURCES: TO PROTECT NATURAL RESOURCES AND CONSERVE SCENIC AND HISTORIC AREAS AND OPEN SPACES.

The proposed development of the Eastside Community Park will not impact any listed or significant open space, scenic, historic sites, historic areas, or natural resources. The parks plan amendment for the Eastside Community Park proposes development of the 22.57-acre park site east of Bishop Rd. SE. The proposal complies with Goal 5.

Goal 6: Air, Water and Land Resources Quality: To maintain and improve the quality of the air, water, and land resources of the state.

The Eastside Community Park development will enable the city to develop “close-to-home” recreational facilities. The plan encourages local residents to actively recreate in local neighborhood and community parks. Policies in the adopted *Aumsville Parks Master Plan* encourage residents to walk and bike to local parks, rather than travel by car to reach recreation sites further away from home. Use of “close-to-home” parks will reduce fossil fuel emissions and improve air quality. The proposed park designs incorporate plans for on-site retention/detention of storm water and provide green/open spaces along existing drainage corridors and the protection of a potential wetlands area at the south end of the park site; thereby protecting water quality. The proposal complies with Goal 6.

Goal 7 - Areas Subject to Natural Disasters and Hazards: To protect life and property from natural disasters and hazards.

Goal 7 does not apply.

Goal 8 - Recreational Needs: To satisfy the recreational needs of the citizens of the state and visitors and, where appropriate, to provide for the siting of necessary recreational facilities including destination resorts.

Local governments are required to plan for parks and recreational facilities in coordination with private enterprise, state and federal agencies. Oregon’s small cities are encouraged to adopt a parks master plan that complies with statewide planning goal requirements. Proposed parks and recreational facilities should be planned for and developed in such quantity, quality, and locations to meet the needs of local residents for a 20-year planning period.

This proposal includes three documents to address Goal 8 requirements:

- Exhibit A: Eastside Community Park Master Plan design and park plan narrative.
- Exhibit B: Updated Chapter 3 “Demographics” including the adopted 2021 coordinated population forecast for Marion County and its incorporated cities (2021 to 2050) and updated demographic information for the City of Aumsville.
- Exhibit C: Technical Memo dated October 6, 2022 to City Administrator Ron Harding addressing Goal 8 compliance, including a review of the 2019-2023 Statewide Comprehensive Outdoor Recreation Plan (SCORP). The 2019-2023 SCORP includes recommendations for priority park and recreation facility improvements within the state and within Marion County. The consultants utilized this data when they were identifying improvements to be included in the Eastside Community Park Plan.

Under Goal 8, the state recommends each city:

- inventory recreation needs,
- identify recreation opportunities,
- coordinate park and recreation plans with other agencies,
- be consistent with the Statewide Comprehensive Outdoor Recreation Plan (SCORP),
- consider energy consequences of facility development, and
- encourage use of non-motorized recreational activities.

Local governments planning for the development of new parks and recreation facilities or redevelopment of existing facilities are encouraged to give priority to:

- recreation needs in high population areas,
- users with limited mobility and finances,
- maximize the conservation of energy in the transportation of people to parks and recreation facilities and also in the use of energy in the facility,
- minimize environmental deterioration,
- provide recreational facilities to the public at nominal costs, and
- meet needs of visitors to the state.

Chapter 2 “Parks Planning” of the *Aumsville Parks Master Plan* reviews compliance with statewide planning goals, the *Statewide Outdoor Recreation Plan (SCORP)* and the *Marion County Parks Master Plan*. The plan also summarizes nearby regional parks and recreation facilities provided by federal agencies, nearby cities and the Linn County Parks Department. Based on the City’s evaluation of community needs and its review of the multitude of parks and facilities within the Marion County and in the North Santiam Canyon area, the *Aumsville Parks Master Plan* recommends the city focus its plan on providing community parks, neighborhood parks and pocket parks to serve local residents.

Goal 8 encourages local governments to adopt measures to finance and acquire park and recreation facilities. Cities are encouraged to take into consideration various techniques for land acquisition

including, but not limited to, fee simple site acquisition, conservation easements, development rights acquisition and subdivision park land dedication. The adoption of the Eastside Community Park master plan narrative and design plan will enable the city to effectively compete for grants from the Oregon Parks Department, Oregon Department of Transportation, and private foundations.

The proposal complies with Goal 8.

Goal 9 - Economic Development: To provide adequate opportunities throughout the state for a variety of economic activities vital to the health, welfare and prosperity of Oregon's citizens.

Goal 10 - Housing: To provide for the housing needs of citizens of the state.

The proposed Eastside Community Park is located outside the Aumsville city limits and urban growth boundary. It does not impact any buildable lands inside the Aumsville city limits. Therefore, development of the project does not impact any lands designated for new non-residential and residential development in the city. The provision of public parks and "close-to-home" recreation facilities will make Aumsville a desirable site for new housing and will enhance the ability of the city to attract non-residential employers. The City concludes the proposal is consistent with and supports Goals 9 and 10.

Goal 11 - Public Facilities and Services: To plan and develop a timely, orderly and efficient arrangement of public facilities and services to serve as a framework for urban and rural development.

Goal 12 – Transportation: To provide and encourage a safe, convenient and economic transportation system.

Goal 13 - Energy Conservation: To conserve energy.

Goals 11 and 12 requires community to plan for the timely extension of its transportation system, s, public facilities and services concurrently with new development. The parks master plan establishes a clear plan for the acquisition and development of new/improved park facilities over the 20-year planning period and for linking the parks via sidewalks and existing roads in the community. Aumsville's parks are located throughout the city adjacent to existing or planned streets. The expansion of existing parks and the addition of new park land in undeveloped areas at the edges of the community, can occur concurrently with the extension of other public facilities (water, sewer, storm and streets) as the community develops. Development of local parks, to serve Aumsville's citizens and visitors will encourage energy conservation consistent with Goal 13. The proposed adoption of the [Aumsville Parks Master Plan \(2022\)](#) is consistent with Goals 11, 12 and 13.

Goal 14: Urbanization: To provide for an orderly and efficient transition from rural to urban use.

Park developments are permitted within Marion County's rural zoning regulations. This plan recommends the City expand the Aumsville UGB to add the Eastside Community Park into the Aumsville UGB and immediately annex the property into the city limits. This will allow the City to zone the property as "Public" land and give the City development control under the Aumsville Development Code. Annexing the site will eliminate the need to comply with rural residential zoning requirements. The city will then be able to extend public services (water, streets, drainage, sanitary sewer, and private utilities) into the Eastside Community Park site.

The plan recommends the city initiate a UGB Amendment and Annexation application to the City and Marion County in 2023. Upon completion of the UGB amendment, the City will comply with Goal 14.

IV. CONCLUSION AND RECOMMENDATION

Based on the findings included in this staff report, the consultant recommends the Planning Commission recommend to the City Council that the city adopt amendments to the Aumsville Parks Master Plan to:

1. Adopt the Eastside Community Park Master Plan (Appendix A-8)
2. Adopt a replacement Chapter 3 “Demographics” including the 2021 coordinated population projections for the city.
3. Recommend the City initiate a UGB amendment and annexation of the Eastside Community Park site.

V. PLANNING COMMISSION OPTIONS

Motion #1

- A. Recommend the City Council adopt the proposed amendments to the Aumsville Parks Master Plan for the Eastside Community Park and the proposed findings of fact.
- B. Direct the consultants to modify the Aumsville Parks Master Plan amendments for the proposed Eastside Community Park to address the following issues prior to submittal of the plan to the City Council:

(List issues to be address or corrections to be made)

Motion #2 (if approved)

- C. Recommend the City Council initiate a UGB amendment and annexation proceeding for the Eastside Community Park site.

Eastside Community Park



Eastside Community Park Description

Eastside Community Park is Aumsville’s newest park. The 22.57 site was acquired by the City in August 2019. The park is located between Bishop Rd. SE and Albus Rd. SE. The North Santiam Highway (Oregon Highway 22) abuts the north edge of the site. The park site slopes gently to the south from the highway right-of-way to a drainage swale that runs westward along the south edge of the property. The site is a vacant pasture area with a small Oregon white oak grove running north-south through the center of the site. The site wraps around a 2.71-acre rural residential homesite at 7582 Bishop Rd. SE. A 1.39-acre home site at 7767 Albus Rd. SE abuts the east edge of the park property.

The *Aumsville Parks Master Plan* recommends the City of Aumsville provide a variety of community parks, neighborhood parks, linear parks, and trails to serve the community. The plan recommends the Aumsville provide 8.25 acres of park land per 1,000 residents. In 2020, the city had 19.9 acres of developed park land within the city limits. Since Aumsville is projected to grow from 4,212 residents (2022) to 6,660 residents by the year 2050, the City will need to acquire another 30+ acres of land with a goal of having 57+/- acres of public park land by the year 2050.



Figure 1 - Oak Grove in Eastside Community Park

The parks master plan included a specific recommendation to acquire a 20-acre community park at the east edge of the city within 5-years of the plan’s adoption in 2018. When the opportunity arose, the city was able to negotiate with a willing seller to purchase the site. The City utilized SDC funds and a grant from the Oregon Parks and Recreation Department to purchase the property. The following paragraphs summarize the purpose, location and typical uses found in a community park.

- Purpose:** A community park is designed to serve all the residents of the city with a variety of facilities including group picnic shelters, playgrounds, athletic fields, restrooms, off-street parking and large group event space. Natural areas, open spaces and recreational trails may be incorporated with a community park to protect waterways, drainage corridors, forested areas and/or wildlife habitats.
- Location:** Serves residents within a two-mile radius and is located within a five-minute to ten-minute drive of any residence in the city. With Porter-Boone Park and Mill Creek Park located at the southwest corner of the city, an east side community park was included in the parks master plan. Users may reach the park on foot, bicycle or by motor vehicle. The park location east of Bishop Rd., SE was selected because it is easily accessible from residential neighborhoods that were developed from 1990 to 2020 east of 1st Street and west of SE Bishop Rd. and a quick drive from all other locations inside the city. With a short sidewalk extension, the new park will connect to a pedestrian trail in Highberger Linear Park.
- Facilities:** A community park provides facilities to serve residents, visitors, and community groups. Selected facilities may attract county residents. Athletic fields, group shelters, picnic facilities, camping, open space, trails, paths, natural areas, community center, and/or special event venues are typical. Community parks have restrooms and vehicle parking lots to accommodate community-wide events. If a community park also serves as a neighborhood park it includes play equipment and amenities for pre-school and elementary age children.

Community Park – Park Facility Standards and Identified Needs

Chapter 4 of the *Aumsville Parks Master Plan* includes level of service standards for the development of parks and recreation facilities in the city. Table E-1 lists some of the facilities, level of service standards and specific recommendations for new recreational fields and facilities to be developed in a new community park.

Table E-1
**City of Aumsville Level of Service Standards and
 Recommended Facilities for a New Community Park**

Type of Recreational Facility	Level of Service Standard per “x” population	Current Supply (2023)	Projected Need (2045)	Recommendations for a New Community Park
Community Center	1 center per 15,000 residents 1 sq. ft. per person	Chester Bridges Community Center (3,500 sq. ft.)	6,000 to 7,000 sq. ft	Build a new larger community center with exterior event space in a community park
Multi-Purpose Activity / Youth Sports Fields	1 per neighborhood / community park for soccer, baseball & softball	Mill Creek Park (1)	Use Cascade Schools. Provide 4 in city	Include 2 or more fields in the Eastside Community Park.
Basketball Courts	1 per park	Porter Boone & Highberger Park	4	Add two in a new community park
Picnic Areas & Large Shelters	1 per 5,000 residents	Porter Boone (1)	1 large shelter	Construct in new neighborhood & community parks

Type of Recreational Facility	Level of Service Standard per “x” population	Current Supply (2023)	Projected Need (2045)	Recommendations for a New Community Park
Small Shelters	1 per 1,000 residents	4 small shelters Wildwood (2) & Mill Creek (2) parks	7 small shelters	Construct in new neighborhood & community parks.
BMX Facility	1 per 2,500 residents	None	1	Add to Mill Creek Park or include in a new community park.

In addition to these recommended facilities from the *Aumsville Parks Master Plan*, the consultants utilized data from the 2019-2023 Statewide Comprehensive Outdoor Recreation Plan to identify needed recreational facilities that should be incorporated into the design of a community park. The following table shows the compilation of results of the highest priorities for Marion County and for Oregon residents who live in suburban communities.

Table E-2
2018 SCORP Survey Results
Recreational Facility Priorities

<i>Public Recreation Provider Survey Marion County Needs</i>		<i>Oregon Resident Survey Statewide Suburban Need Results</i>	
Close to Home Priorities	Score	Needed Recreation Facility	Score
Children’s playgrounds and play areas built with manufactured structures like swing sets, slides and climbing apparatus.	4.17	Soft surface walking trails and paths	3.78
Acquisition of park land for developed recreation	3.8	More restrooms	3.61
Picnicking / day use facilities	3.7	Children’s playgrounds and play areas made of natural materials (logs, water, sand, boulders, hills, and trees)	3.52
		Nature and wildlife viewing	3.52
		Public access sites to waterways	3.46

Eastside Park Planning Grant and Citizens Advisory Committee

In 2021, the City of Aumsville secured a planning grant from the Oregon Parks and Recreation Department to develop a conceptual plan for the development of the Eastside Community Park. The city retained planning consultant David W. Kinney and landscape architect Brian Bainson, Quatrefoil, Inc. to work with a citizens advisory committee and prepare a concept plan and narrative for the park. City staff member Kirsti Pizutto worked with the consultants and coordinated citizen involvement efforts throughout the planning process. The Committee met five times from October 2022 through March 2023 to review demographic information, discuss park needs and community desires for park facilities and then review design concepts.

In October 2022, the advisory committee toured the park site with the consultants and discussed opportunities for the development of the park, needed facilities and incorporation of existing natural features, trees and access ways into the future park design concepts. Committee members concluded the 20+ acre site has potential to include multi-purpose fields coupled with playgrounds, parking, special use recreation features, picnic facilities and a pedestrian trail around the edge of the site. They directed the consultants to incorporate the following design elements into the three initial design concepts for the park:

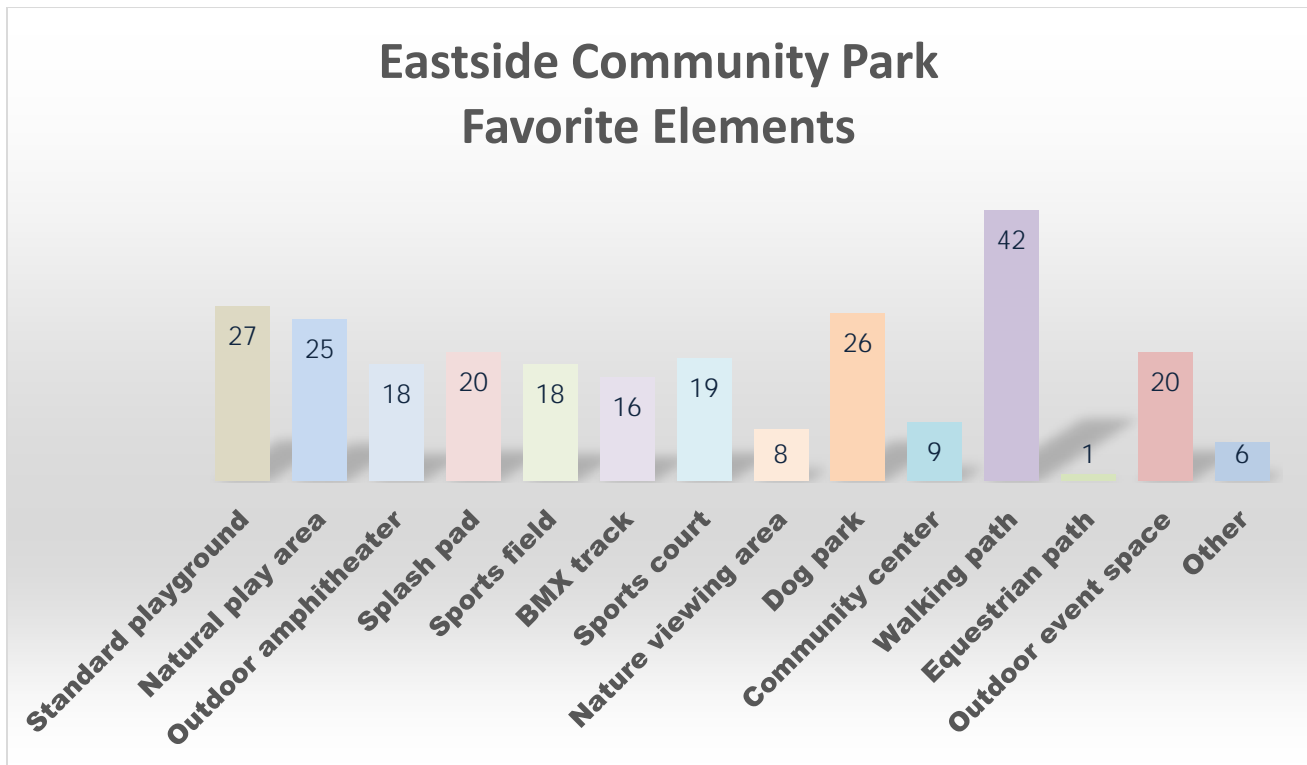
- Multi-purpose sports fields with space for youth/little league baseball, softball, and soccer.
- Horse/Equestrian trails
- Pedestrian Trails
- Dog park areas for large and small dogs
- Large group and smaller picnic shelters and picnic areas
- Play areas include a water park, tot lot, and play structures.
- Community Center

Based on the site visit, direction from the community advisory committee and the priority recreational facilities listed in the Aumsville Parks Master Plan and the SCORP, landscape architect Brian Bainson developed three initial design concepts for development of the Eastside Community Park in November 2022. The three concept drawings “A”, “B” and “C” provided significantly different designs for the development of the site.

Community Observations and Public Open House Input

The city solicited public comments on the three initial design concepts at an open house on November 17, 2022. Prior to the open house city staff posted the design concepts on the city’s website. Citizens were invited to vote for their favorite design concept, complete a survey and provide written comments to the city. The city received 86 survey responses. Table E-3 summarizes citizen priorities for the recreational facilities included in the plans.

Table E-3
November 2022 Eastside Community Park - Survey Responses from Aumsville Citizens



During the community open houses and public meetings, students, citizens, city staff and elected officials were encouraged to let their imaginations go. Attendees at the November 2022 open house were invited to review the three concept plans and share their comments with advisory committee members. Participants did not hesitate to suggest a wide variety of facilities to be included in the final design for the Eastside Community Park.

Citizens were asked to say what they liked and did not like about each concept plan. They were provided “Green” and “Red” dots to place on the plans, to highlight the proposed park elements they liked (Green) and elements they did not like (Red) or felt should not be included (Red) in the final park designs. Overall community members want to see the new community park have “multiple” facilities that will be inviting to families, provide facilities for youth sports programs and add special use facilities that are not available in any of Aumsville’s other parks.

Several features were supported by participants of all ages:

- Multi-purpose sports field
- Playground areas (manufactured play structures and a natural play area)
- Picnic facilities
- Courts (pickleball and basketball)
- Special use areas (water play, BMX area and dog parks)
- Trails for walkers, joggers, and pet owners

Concept “A” was the preferred concept drawing, with 70% of the survey respondents and attendees at the November 2022 open house preferring its design. Citizen advisory committee members and the landscape architect used the positive and negative feedback from each concept design to compile two design options to present at a second open house in March 2023.



Figure 2 - Aumsville Open House #1 - November 2022

On March 1st and March 9, 2023, the city met with students at Cascade Jr. High School and Aumsville Elementary School to solicit student comments and ideas. Over 400 students in twelve classrooms from Grades 4 through 8 met with City Councilor Della Seney, the consultant and city staff to discuss the park designs.

Both the elementary school students and the middle school age students were asked to use their dots to respond to the following statements:

- Q1. My family and I will definitely use the following park facility (choose one) . . .
- Q2. My family and I will probably not use the following park facility (choose one) . . .

Middle school aged students (Grades 6 to 8) were invited to use one “dot” to highlight their favorite recreational facilities or design elements on each of the two design plans and one “dot” to identify the one facility they did not believe should be included in the final park design. The middle school students overwhelmingly selected the multi-purpose fields, baseball/softball fields, basketball courts, dog park area and BMX track as their most desired recreational facilities.

In response to the two questions, middle-school aged students explained they participate in youth sports programs. Figure 2 includes responses from three of the six middle school classes. During the discussion of the park designs students and teachers stated there are not enough usable baseball fields and courts in the Aumsville community to serve all the students who are on sports teams. Practices for teams occur on available fields, but also on open lawn areas in parks and near schools. The Cascade baseball/softball field complex is heavily used throughout the year. Students would like fields and courts close to their homes that area accessible by walking or by bicycle. A vocal group of middle school boys advocated strongly for the inclusion of a BMX track; but a large percentage of all middle-school aged students indicated they and their family members would not use a BMX facility.



Figure 3 - Cascade Middle School Student Responses - March 1, 2023

Elementary aged students (Grades 3 to 5) expressed strong preferences for the inclusion of the dog park, play structures and natural play areas, splash pad and soccer/multi-purpose fields. When asked why they selected a dog park as a priority, many of the children responded that they have a dog in their family, and they know their family will take their dog out for walks and to the park so it can run in a dedicated dog park area.

A second open house was held at the Aumsville Community Center on March 13, 2023 to review the final two design concepts. The city published a second on-line survey to solicit community input. Seventy (70%) per cent of the respondents preferred the Concept "A" design. Written comments from citizens expressed support for play structures, natural play features, additional ball fields and a large event space for community events.

On March 22, 2023 the advisory committee discussed all public comments, student ideas and review concepts. The advisory committee selected Concept "A" and recommended revisions to the location of the natural play area, courts, and amphitheater. Landscape Architect Brian Bainson made final revisions and prepared a recommended master plan design for the Eastside Community Park, attached as Map E-3, for presentation to the Planning Commission.

Proposed Eastside Community Park Improvements

On March 22, 2023, the citizens advisory committee met, discussed the revisions, recommended approval of the final design plan for each park and voted on a list of priority improvements for the Eastside Community Park. The final design plan for the Eastside Community Park incorporates the following elements:

Multi-Purpose Field & Parking:

- Aumsville does not have a multi-purpose sports field which can be used for youth sports including t-ball, little league, soccer, or other field sports. The Cascade Little League has informed the city there is a need for additional fields for their t-ball and minors programs. The creation of a multi-purpose field, with two

baseball/softball diamonds and two soccer field layouts with adequate parking is a high priority.

Play Area and Playground Equipment:

Two play areas are proposed.

- Play Area #1: An all-weather play area, with a rubberized play surface and manufactured play equipment. Play equipment may include slides, swings, climbers, and creative play features.



Play Area #1 should include age-appropriate elements to serve toddlers and elementary students (ages 2 to 12) with ADA accessibility for children with disabilities.

- Play Area #2: A natural play area that incorporates logs, climbing rocks, animal features, steppingstones, balance beams, walkway, and other play elements with a bark-chip surface.
- Both play areas are located at the west end of the park near residential neighborhoods. At least one of the two playground areas is recommended for development in Phase 1 or 2 of the park's development.

Community Center:

- A new 6,000 to 7,500 square foot community center is proposed near the west entrance to the park. The Chester Bridges Community Center, next to City Hall, is a 3,000+ square foot building with a main meeting room and small kitchen. As Aumsville grows, the city envisions a new community center with meeting rooms, commercial grade kitchen and outdoor events space. The facility can serve as the hub for the Corn Festival and as a facility to host family gatherings, weddings, arts programs, concerts, and other special community events.

Courts:

- Basketball courts: Two full-size basketball courts are proposed in the center of the park.
- Pickleball courts: Two pickleball courts are shown near the west entry to the park. Pickle-ball is the fastest growing sports-court activity in the U.S. in the early 2020's and is popular with adults, middle-aged and older.
- The development of sports courts is not a top priority for the Eastside Community Park. If youth demand for basketball courts and adult demand for the pickleball courts stays strong, they may be developed in one of the early phases of the park development. The exact locations of the basketball and pickle-ball courts may need to change. When used constantly, both basketball and pickleball can generate noise from the ping of the plastic balls on rackets, bouncing basketballs or the music, profanity, and loud chatter/yelling of the participants. Placement of the courts closer to Hwy 22 or near the center of the park near parking is preferable.

Special Use Areas:

- **Water Play Area:** The master plan shows a water play area with a variety of fountains, spray elements, and water jets on an all-weather surface. Water play requires adequate parking, shaded areas with shelters, picnic tables and restrooms close by. The proposed water park is in the center of the park near the proposed community center adjacent to the proposed Water parks and skate parks can be loud and intrusive to neighbors.



- **Amphitheater:** A grass amphitheater with a small stage is located at the north end of the park. The location was selected so it can be contoured and terraced into the existing slope on the site. Aumsville has had an active theatre group and an amphitheater creates opportunities for special events, summer movies, plays and small musical events in the park.

- **Dog Park:** At the east end of the site, the plan shows the development of a dog park with enclosed areas for small dogs and larger dogs. This area can be developed initially as a pedestrian accessible trail area and more fully developed if the City is able to acquire one or both adjacent properties. The inclusion of the dog park area within the park was popular with all ages.

Park Amenities:

- Picnic Shelters, tables, benches, and shade structures need to be built concurrently with development of the playground improvements, multi-purpose field and the water play area.
- Portable restrooms and/or a second permanent restroom facility will be needed if the park facilities area heavily used for organized sports and when the east side of the park is fully developed. If the City can acquire the residential property (7852 Bishop Rd. SE) in the center of the park, then a second restroom facility can be located in the existing building or in a new facility.
- **Recreational Trail.** The park design includes an all-weather recreational trail looping through and around the entire 22-acre park site. The development of an all-weather surface on the entire recreational trail will take many years. As an interim measure portions of the trail can be developed with a soft bark trail for use by joggers, dog walkers, and the public.

Street Improvements and Pedestrian Connectivity Issues:

- Street frontage improvements on Bishop Rd. SE are expected to be required by the Planning Commission as a condition of development approval when Phase 1 of the Eastside Community Park is built by the City. The improvements will include curbs, gutters, storm sewers, sidewalks, pavement widening and trees within the park site. As the City seeks grant funding for the Phase 1 and 2 improvements within the park, the city will need to identify funding to complete these street improvements.

- New sidewalks will be needed on both sides of SE Bishop Rd. extending north from the Highberger Greenway north into the park site. At the park a sidewalk can meander into the park area to allow children to enter the park safely. sidewalks on SE Bishop Rd. from the south end of the park to the Highberger Greenway pedestrian trail. Safe pedestrian crossings on SE Bishop Rd. SE will be needed concurrently with Phase 1 of the project.
- South Access Road and Gravel Parking Area for the Multi-purpose Fields. The plan shows an 80-space parking area on the south edge of the multi-purpose fields. This parking area can be used when games and special events are held on the fields. Portable restrooms may be installed for use during events.

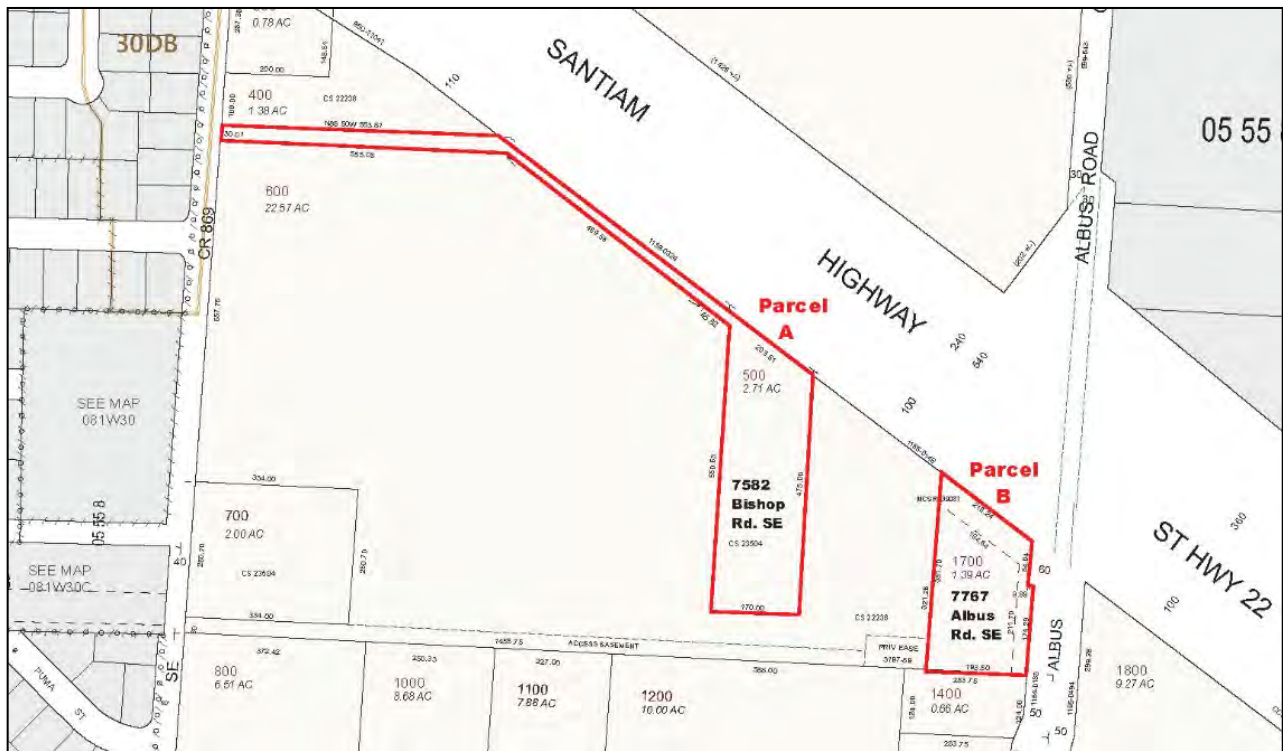
Preservation of Oregon Oak Grove and Storm Drainage Management:

- The grove of Oregon Oaks in the center of the site will need to be evaluated by a licensed arborist and a management plan developed to ensure any recreational trail and picnic facilities developed near them protect the root structures and limbs are pruned regularly for safety.
- The drainage swales from Hwy 22 south through the property and then east-west will need to be designed. Wetlands will need to be delineated and protected.

Land Acquisition for Park Expansion:

- When the opportunities arise, this plan recommends the city acquire an additional 4.20 acres at the east end of the park, as shown on Figure “XX”.

Map E-1
Proposed Land Acquisition to Expand the Eastside Community Park



- (1) **PARCEL A - 7582 Bishop Rd. SE (2.71 acres):** The first acquisition site is an existing private residence in the center of the site. It is accessed via a 30'-wide gravel access driveway from Bishop Rd. SE. This plan recommends the City notify the property owner of the city's interest in acquiring the site and execute a "right-of-first refusal" agreement. The acquisition will enable the city to develop the full park site, add parking, recreational trails or expand the dog park area proposed for the east end of the

park. The existing home may be remodeled for use as an arts center, senior center, youth center or for special events and as a restroom facility for the east end of the park. (Assessor’s Map 081W30D, Tax Lot 500).

- (2) *Parcel B - 7767 Albus Rd. SE (1.39 acres)*: The second acquisition area is a 1.39-acre site abutting Albus Rd. SE. The site is accessed via a driveway easement to Albus Rd. SE. The city did not acquire this land in 2019 when it acquired the remainder of the site for the park. An environmental assessment is needed. Any contaminated soil, old equipment, materials, or buildings will need to be cleaned up and/or removed from the property. The acquisition of the 1.39-acre area will provide access to the proposed dog park and park maintenance facilities. (Assessor’s Map 081W30D, Tax Lot 1700).

Eastside Park Master Plan

The Eastside Community Park Master Plan is attached as Map E-3 “Eastside Community Park Master Plan”.

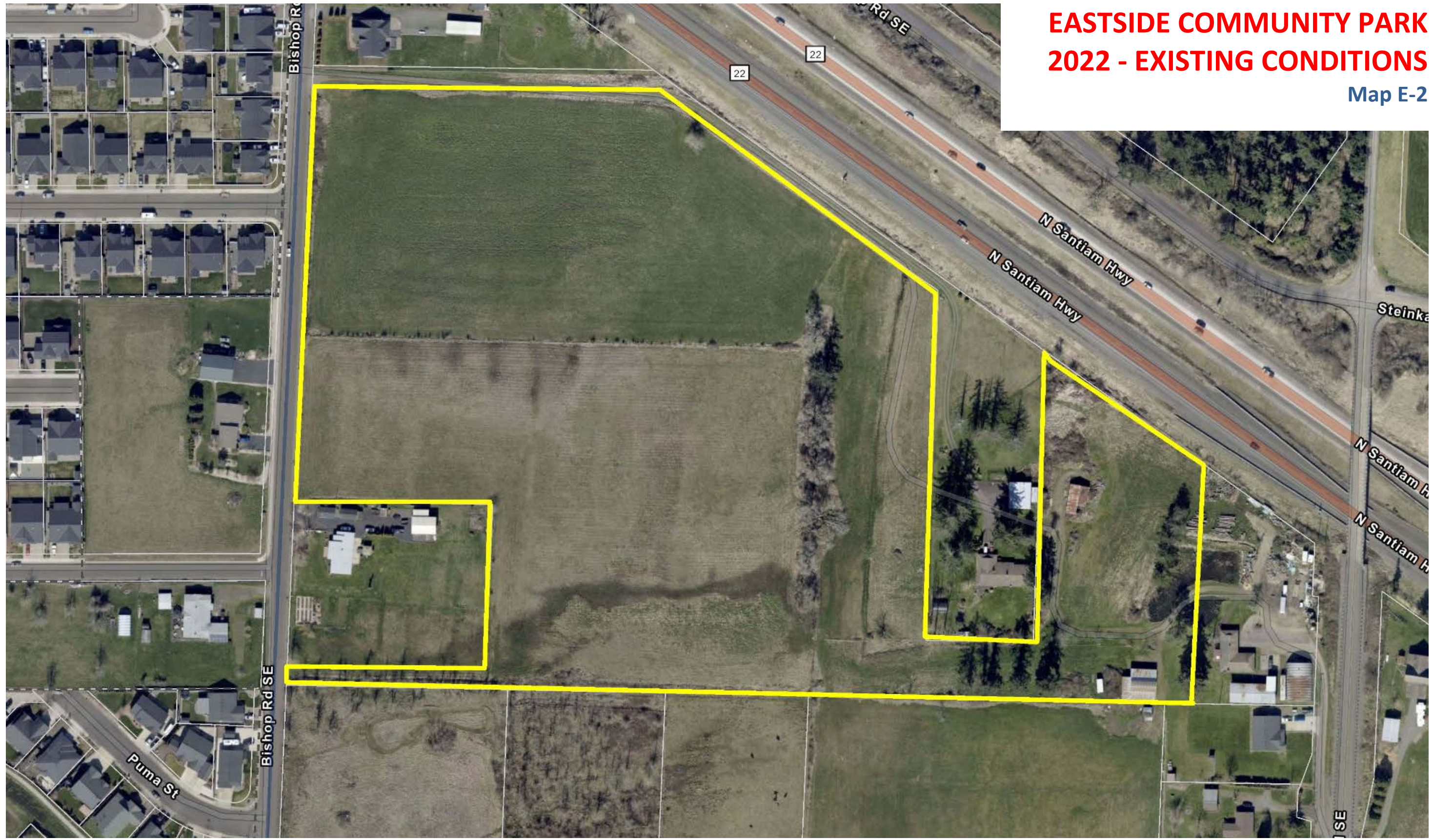
- A. **Summary of the Eastside Community Park Master Plan:** The 22+ acre Eastside Community Park is the city’s largest community park. The master plan anticipates the Eastside Community Park will be the centerpiece of Aumsville’s park system when it is fully developed. Active recreational facilities including playgrounds, courts, community center, BMX track and multi-purpose fields are located on the west half of the 22-acre park site near Bishop Rd. SE. Facilities for passive recreational activities are found in the eastern half of the park beginning at the Oregon oak grove which runs north-south down the center of the park. Picnic facilities, recreational trail, dog park and a park maintenance facility are located near the oaks and in the eastern half of park closer to Albus Rd. SE.
- B. **Population Served:** The Eastside Community Park will serve all residents within the City of Aumsville, visitors and residents of the greater Aumsville area living within the Cascade School District and surrounding rural areas of Marion County. 2020 Census data for the City of Aumsville shows residents of Aumsville are younger and households are larger than most communities in Marion County. Therefore, many of the key recreational facilities planned for initial development within the park will serve families, young adults, children, and youth.
- C. **Urban Growth Boundary (UGB) Expansion and Annexation of the Eastside Community Park site:** This plan recommends the city initiate a UGB amendment and annexation procedure in 2023. The inclusion of the park in the city limits will give the City authority over the full development of the park site and will enable the City to extend public facilities (water, sewer, and other city-owned utilities) into the park. The Aumsville Planning Commission and City Council will have authority to approve development plans for the property under the Aumsville Development Code.
- D. **Phased Development and Funding:** The Eastside Community Park will be developed in phases over a 20–40-year period. Table E-2 lists one phasing scenario for the development of the park. Ultimately phasing will depend on the City’s ability to generate funding to pay for the project. Funding to make park improvements will come from a variety of sources including grants, systems development charges, city general funds, volunteer projects and grants from non-profit organizations.

Table E-3
**Eastside Community Park
 Phased Improvements**

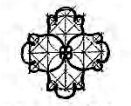
Phase	Eastside Community Park Park Improvements	Description
PHASE 1		
Design	Phase 1 Design	Prepare Phase 1 Design Development Plan and Construction drawings and specifications for underground utilities, storm drainage, park lighting, streets, and hard-surface pathway network within the entire Phase 1 area. Develop detailed development plan and construction design drawings for at least Phases 1A and 1B so project is shovel ready and City can budget funds for the project.
1A	Play Area #1	Develop either Play Area #1 (all-weather play surface & structures) or Play Area #2 (natural play area), entry road and west side parking lot and 1st phase of underground utilities into the park site.
1B	Multi-purpose fields and gravel parking area on south edge of site.	Work with the Cascade Little League to grade and develop the multi-purpose fields, south entry road and gravel parking area.
1C	Recreational trail	Develop a bark chip recreational trail around the perimeter of the park (SE Bishop Rd. to the Oregon oak grove).
1D	Play Area #2	Develop Play Area #2 including shelters, picnic tables, benches, and hard-surfaced pathways.
1E	Restrooms, Circle & Parking Lot	Complete entry road and parking circle, including storm drainage detention facility. Extend public utilities, construct restrooms, hard-surface pathways, and complete landscaping for Phases 1A to 1D.
1F	Basketball and Pickleball Courts	Construct basketball and/or pickleball courts, pedestrian pathways, and landscaping.
PHASE 2		
2A	BMX Track	Design and build BMX track facility.
2B	Oak Grove trails and picnic facilities	Construct hard-surfaced pedestrian pathway, picnic shelters and drainage improvements within the Oregon oak grove.
2C	Amphitheater	Design and construct the amphitheater. Extend needed underground electrical utilities, storm drainage facilities and hard-surfaced pedestrian pathways to site.
2D	Land Acquisition (East Side)	Purchase 2.71-acre property at 7582 Bishop Rd. SE
2E	Dog Park	Develop shelters, hard-surfaced pathway, and fenced enclosures for dog park.
PHASE 3		
3A	Community Center	Design and build 7,000 square foot community center and event plaza.
3B	Splash Pad / Water Play Area	Design and build water play area.
3C	Activity Center	Plan, design, and build/remodel existing homes into an activity center. Develop additional parking for the dog park and activity center building.
3D	Land Acquisition (East side)	Purchase 1.39-acre property at 7767 Albus Rd. SE
3E	Maintenance Facility	Develop entry road from Albus Rd. SE and develop a maintenance facility and small parking area in SE corner of park site.

EASTSIDE COMMUNITY PARK 2022 - EXISTING CONDITIONS

Map E-2



**EASTSIDE
COMMUNITY
PARK
MASTER
PLAN
Map E-3**



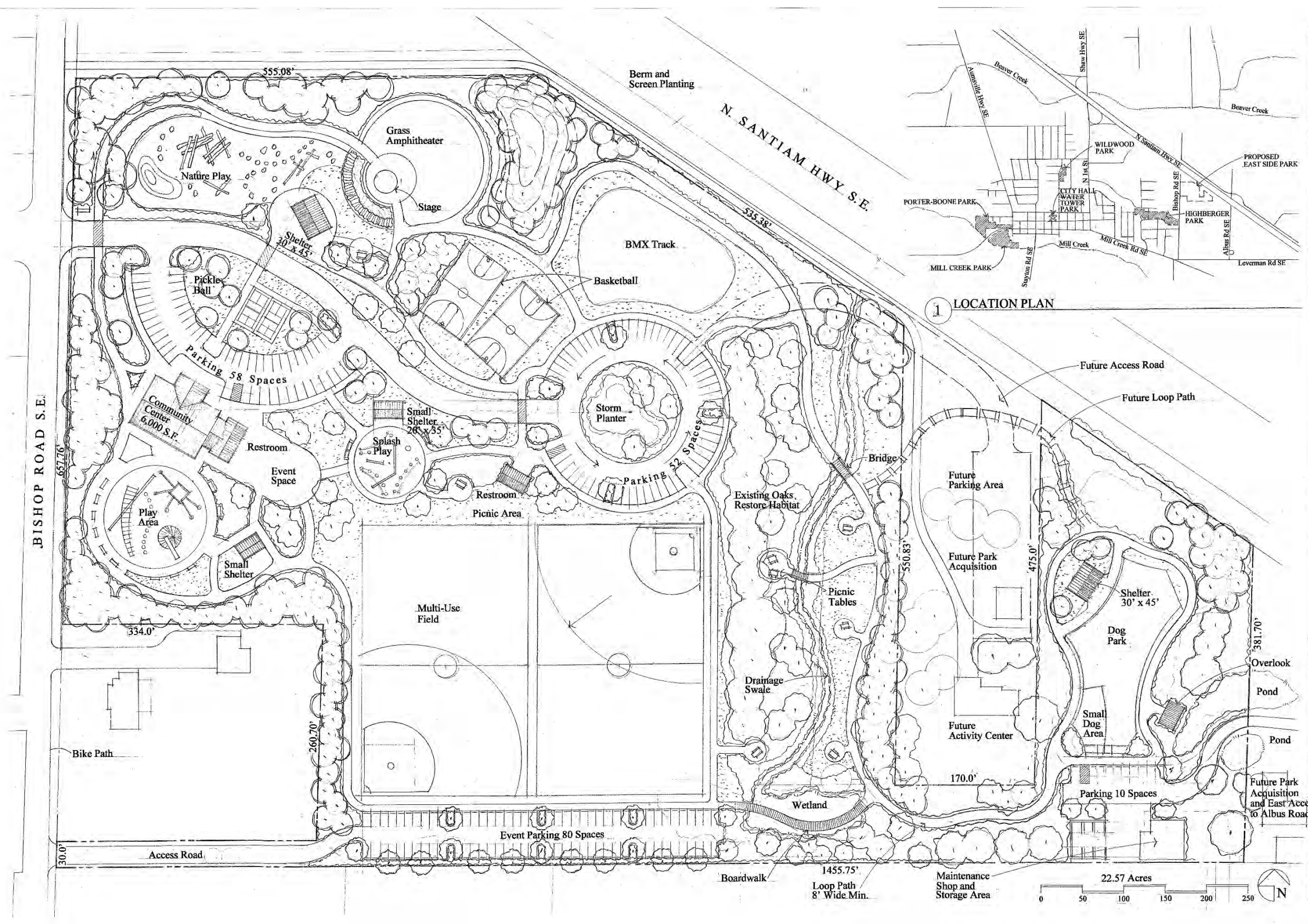
Quatrelot Inc.
Design & Landscape Architects - Space Planning
415 NE 6th Ave. Portland, Oregon 97232
Tel: (503) 298-8955

**CITY OF AUMSVILLE
EAST SIDE COMMUNITY PARK**
Aumsville, Oregon

Park Master Plan

REVISIONS:

DATE: 4.3.2023
SCALE: 1"=50'-0"
SHEET: MP.1



1 LOCATION PLAN

Aumsville Parks Master Plan Update

3.0 – CITY OF AUMSVILLE POPULATION AND DEMOGRAPHICS

The Comprehensive Plan uses historical population information to explain how the community has developed over the past century. Population growth projections are used to forecast the amount of land needed for future residential, commercial, industrial and public uses, to plan for the expansion or modification of the City’s Urban Growth Boundary and to plan for the scope and timing of needed public facilities. Aumsville’s population projections and anticipated growth rates are based on coordinated population projections prepared for Marion County which have been approved by the State of Oregon. These projections rely on a review of historical growth rates, county-wide trends and statewide demographic characteristics.

3.1 Population Trends

Oregon: In the three decades from 1990 to 2020 Oregon’s population grew at a pace faster than the nation. Oregon’s population growth has historically been heavily affected by the state of the economy. In good economic times, migration of people to Oregon fueled population growth. Net migration (people migrating to Oregon minus out-migration of people leaving the state) accounted for three-quarters of Oregon’s population growth in the 1990’s and 51% of Oregon’s population growth in the 2000’s. Population growth and net migration slowed during the Great Recession (2008 to 2013) due to poor economic conditions and high unemployment rates in the state. Population growth since 2010 has been largely due to natural population growth (more births than deaths) rather than rapid in-migration. However, net in-migration accelerated again beginning in 2013.

Table 3-1
Historic Population Growth Rates 1990–2020

	1990	2000	2010	2020	Changes in Population		
					1990-2000	2000-2010	2010-2020
U.S.	248,709,873	281,421,906	308,745,538	331,449,281	13.2%	9.7%	7.4%
Oregon	2,842,337	3,421,437	3,831,074	4,268,055	20.4%	12.0%	11.4%
Willamette Valley	1,962,816	2,280,631	2,684,933	3,021,035	16.2%	17.7%	12.5%
Marion County	228,483	284,837	315,391	349,120	24.7%	10.7%	10.7%
Linn County	91,227	103,083	116,672	127,320	13.0%	13.2%	9.1%
Salem	108,846	137,569	154,637	168,970	26.4%	12.4%	9.3%
Aumsville	1,673	3,036	3,584	4,234	82.0%	19.3%	18.1%
Silverton	5,635	7,433	9,222	10,520	31.9%	24.1%	14.1%
Stayton	5,011	6,816	7,644	7,880	36.0%	12.1%	3.1%
Sublimity	1,493	2,150	2,681	3,050	44.0%	24.7%	13.8%

Sources: U.S. Census Bureau and Population Research Center, College of Urban and Public Affairs, Portland State University.

Willamette Valley: The Willamette Valley is Oregon’s population center.¹ Over 70% of Oregon’s population lives in the Willamette Valley, which contains only 14% of the state’s land area. Population is concentrated in the

¹ The Willamette Valley is composed of Benton, Clackamas, Lane, Linn, Marion, Multnomah, Polk, Washington, and Yamhill counties.

metropolitan areas of Portland, Salem, and Eugene. Oregon’s population growth will continue to occur in the Willamette Valley, major cities and the Portland metropolitan area.

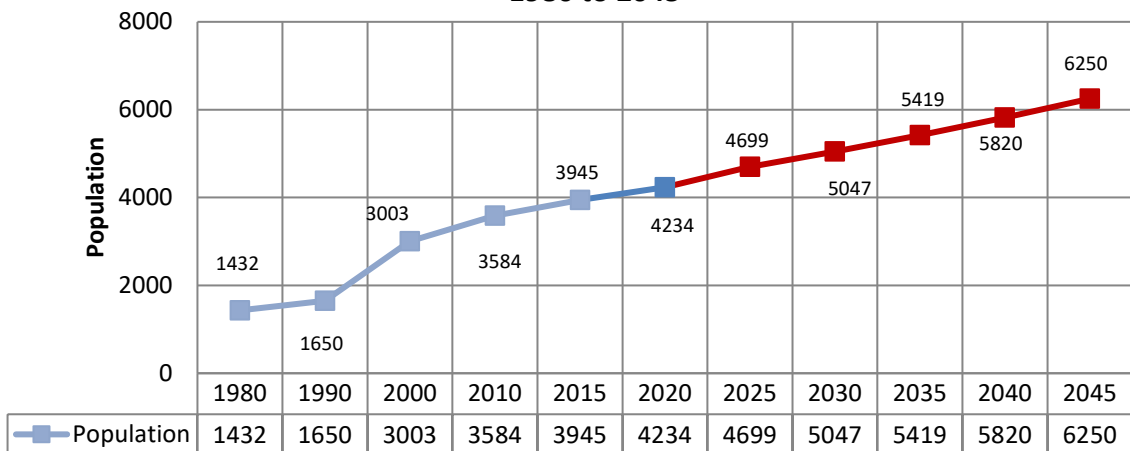
Marion County: Marion County is located in the mid-Willamette Valley south of the Portland metropolitan area. Since 1980 Marion County has grown faster than the state as a whole and faster than the other Willamette Valley counties. Table 3-1 shows that Salem and its nearby suburbs and small cities have seen the highest growth rates. The population in Aumsville has more than doubled from 1,673 residents in 1990 to 4,212 persons in 2022, a 140% increase.

City of Aumsville: The City of Aumsville is located 10 miles east of Salem along Oregon Highway 22, the main state highway connection between the mid-Willamette Valley and central Oregon, travels along the northern edge of the city. Hwy 22 provides an easy 15-minute commute to downtown Salem, the I-5 corridor and Salem’s east-side industrial areas, which makes Aumsville an attractive suburb for new residential development. The population history Table 3-2 shows Aumsville’s annual Census population from 1940 to 2022. Table 3-3 shows historic population growth and population estimates for Aumsville for the period 2020 to 2045 prepared by Portland State University’s Population Research Center.

Table 3-2
Aumsville
Population History

Year	US Census	PSU Estimate	% Change
1900	---		
1920	171		
1940	174		
1950	281		
1960	300		6.8%
1970	590		96.6%
1980	1,432		142.0%
1990	1,650		15.2%
2000	3,003		84.5%
2010	3,584		18.3%
2015		3,945	
2020	4,234		
2021		4,237	
2022		4,212	

Table 3-3
Aumsville Population History and Projection
1980 to 2045²



3.2 Population Projections

In 2013 the Oregon legislature passed a law delegating responsibility for preparing population forecasts to PSU’s Population Research Center. Under the law each county-wide population forecast will have a 50-year time horizon. The population forecasts will be updated every four years and the county-wide population forecast will be coordinated with each incorporated city. In 2021, PSU’s Population Research Center prepared an updated population forecast for Marion County and its incorporated cities. The population forecast includes both a near-term forecast (2021 to 2045) and a long-term forecast (2046 to 2071).

PSU’s Center for Population Research anticipates net migration will increase from a low of 32% of the annual population increase in 2010 to more than 2/3rds of the Oregon’s annual population growth in the year 2020 (28,000 people annually). The near-term forecast estimates Oregon’s population will grow faster than the nation.²

Because of its location in the mid-Willamette Valley, Marion County’s population is expected to grow by more than 67,000 residents in the near-term and by more than 175,000 residents during the entire 50-year forecast period. The County’s long-term population forecast is based on a review of state-wide trends, fertility rates, mortality rates, life expectancy and in- and out-migration patterns.

Table 3-4
Forecast Population Growth for Aumsville
2010 – 2070

Year	Marion County Population Forecast			City of Aumsville UGB Population Forecast		
	Population	Change	% Change	Population	Change	% Change
<i>Actual Population</i>						
2010 Census	315,335			3,584		
2020 Census	345,920	30,585	9.70%	4,234	650	18.1%
2022 PSU Est	348,616	1,262	0.78%	4,212	-22	-0.52%
<i>Population Forecast</i>						
2020	349,121			4,376		
2025	361,629	12,508	3.58%	4,699	323	7.4%
2030	374,586	18,321	3.58%	5,047	347	7.4%
2035	388,006	16,932	3.58%	5,419	373	7.4%
2040	401,907	15,156	3.58%	5,820	401	7.4%
2045	416,327	16,032	3.58%	6,250	430	7.4%
2050	424,995	16,438	2.08%	6,664	414	6.6%
2055	433,844	16,859	2.08%	7,105	441	6.6%
2060	442,877	17,289	2.08%	7,575	470	6.6%
2065	452,099	17,746	2.08%	8,076	501	6.6%
2070	461,514	7,270	2.08%	8,609	533	6.6%

Sources: 2010 and 2020 U. S. Census, PSU Certified Population estimates for 2021, and the *Coordinated Population Forecast for Marion County, its Urban Growth Boundaries(UGB) and Areas Outside UGBs 2021-2070*, prepared by Population Research Center, College of Urban and Public Affairs, Portland State University, Final Report dated June 30, 2021.

² *Oregon’s Demographic Trends*, Office of Economic Analysis, Department of Administrative Services, State of Oregon, December 2012, p. 5. http://www.oregon.gov/DAS/OEA/docs/demographic/OR_pop_trend2012.pdf

Population growth rates over the next 20 years are expected to be highest from 2021 to 2030 and then slow over time. PSU staff and the state demographer provide several explanations for the declining growth rates:

- (1) Oregon’s population is aging and the natural population growth rate (births versus deaths) in the state has turned negative in the early 2020’s.
 - a. There are fewer women in their child-bearing years and more women are choosing to have fewer children and/or have children later in their child-bearing years. Total fertility rates of women in child-bearing ages has continuously declined over past 50 years and is now well below replacement levels. In 2020-2030 decade, the fertility rate is forecast to remain well below replacement levels.³
 - b. The number of deaths increased in 2020-2022 due to COVID-19. The number of annual deaths will continue to increase due aging Baby Boomers PSU’s coordinate population forecast concluded, by the year 2030, annual deaths will exceed annual births in Marion County.⁴
- (2) Net in-migration is expected to continue from 2023 to 2030. In 2023, net migration accounts for all of Oregon’s population growth.

PSU’s forecast for smaller communities and sub-areas within Marion County takes into consideration total housing units, occupancy rates, persons living in each household, household demographics and planning/building forecasts provided by each community.

The City of Aumsville anticipates it will continue to serve as a bedroom community for the Salem metropolitan area with the development of single-family homes in new subdivisions and multi-family units in duplexes and apartment complexes. The City has some remaining undeveloped land inside the urban growth boundary, but will need to expand the UGB to accommodate the projected residential growth.

Over the next twenty years Aumsville’s is expected to be one of Marion County’s fastest growing communities. The PSU forecast estimates the population inside the Aumsville Urban Growth Boundary (UGB) will increase from 4,209 people in 2017 to 6,141 people in 2035 near the end of the city’s 20-year planning period. The average annual growth rate from 2017 to 2035 is estimated to be 2.12% annually. Table 3-4 clearly shows Aumsville’s growth

3.3 Demographics: A Census Snapshot: Aumsville and Marion County

Demographic characteristics of people living in Aumsville and Marion County provide a snapshot of Aumsville’s demographic makeup in comparison to the county and state population profile. More recent data is available for counties and the State of Oregon, but is either not readily available for a small city population or the margin for error listed for the data set is very large. The information listed is taken from the 2010 Census, the 2012 American Community Survey (ACS) or other sources as noted.

³ **Oregon Demographic Trends 2023-2030**, Office of Economic Analysis, Department of Administrative Services, State of Oregon, state demographer Kanhiaya Vaidia presentation to the Oregon Legislature, House Committee on Revenue, March 8, 2023.

⁴ **Coordinated Population Forecast for Marion County, its Urban Growth Boundaries (UGB), and Area Outside UGBs (2021-2071)**, PSU Center for Population Research Center, June 30, 2021, pp. 8-9.

Aumsville residents were:

- Younger than Marion County: In 2021 the median age in Aumsville was 31.2 years compared to 37.0 years in Marion County and 39.6 years in the State of Oregon. [US Census 2021, American Community Survey 5-Year Estimate, Table S0101].
- Affluence – Household Income: In 2021, median household income in Aumsville (\$67,363) was lower than the median household income in Marion County (\$64,406) and the median household income in the State of Oregon (\$71,562). [US Census 2021, American Community Survey 5-Year Estimate, Income in Last 12 Months, Table S1901].
- Less likely to be employed: Average annual unemployment rates in February 2023 were 4.9% in Linn County, 4.5% in Marion County, 4.6% in the Salem SMSA and 4.7% in the State of Oregon. The average unemployment rate in Aumsville in 2021 was 6.4%.⁵
- More likely to be homeowners: 72.6% of Aumsville’s homes lived in owner-occupied housing units. This compared favorably with 61.2% in Marion County and 63.2% in the State of Oregon. [US Census 2021, American Community Survey 5-Year Estimate, Selected Housing Characteristics, Table DP04].
- Larger household size: Household size in Aumsville was 3.06 persons per household (pph) compared to Linn County (2.58 pph), Marion County (2.82 pph) and State of Oregon (2.59 pph). [US Census 2021, American Community Survey 5-Year Estimate, Selected Housing Characteristics, Table DP04 and PSU 2017 Coordinated Population Estimate for the City of Aumsville].
 - In the 2017 Marion County population forecast, the PSU Center for Population Research concluded household size in Marion County’s fifteen smallest cities is projected to remain close to the 2.70 average household size for the period 2017 to 2035. Since Aumsville has historically had a larger household size, the PSU forecast for Aumsville anticipates household size in Aumsville will remain constant at 3.06 pph through the year 2035.⁶
- Educational Attainment: Aumsville and Marion County residents have had less post-high school education than Oregon’s overall population.
 - High School: The 2021 data shows >95% of Aumsville’s residents aged 25 and older had a high school diploma or GED. This is higher than the percentage of residents in Marion County (89.4%) and slightly less than the State of Oregon (91.5%) who have received a high school diploma or equivalent.
 - Advanced Educational Degrees: In Aumsville 7.4% of its residents aged 25 and older had obtained a bachelor’s degree or higher. In 2021, 23% of Marion County residents and 35% of Oregonians had a college degree. [US Census 2021, American Community Survey 5-Year Estimate, Educational Attainment, Table S1501].

⁵ Oregon Employment Department, Quality Information, Local Area Unemployment Statistics for the State of Oregon, Linn County and Marion County. Data for the City of Aumsville from US Census 2021, American Community Survey 5-Year Estimate, Selected Economic Characteristics, Table DP03.

⁶ **Coordinated Population Forecast for Marion County, its Urban Growth Boundaries (UGB), and Area Outside UGBs (2017-2067)**, College of Urban and Public Affairs, Portland State University, Center for Population Research, June 30, 2017, Appendix B, p. 73.

- **Diversity:** The majority of people in Aumsville (85.1%) and Marion County (75.1%) are white. Aumsville racial diversity in 2021 is similar to what it was in 2010, when 84.3% of Aumsville’s population was white. [US Census Bureau, 2021 American Community Survey 5-Year Estimate, Demographic and Housing Estimate, Table DP05].
- **Less likely to be in poverty status:** 17.8% of Aumsville residents lived in households with incomes below the poverty line in 2021 compared to a lower percentage of persons living in poverty in Marion County (13.4%) and the State of Oregon (12.1%). [US Census 2021, American Community Survey 5-Year Estimate, Poverty Status in the Past 12 Months, Table S1701].

3.3.1 Age Distribution

Aumsville’s population is significantly younger than the rest of Marion County’s residents. Median age in Aumsville in 2021 was 31.2 years of age compared to the Marion County median age of 37.0 and the State’s median age of 39.6.

Due to the aging of the post-World War II baby boomer generation and improved health care, the life expectancy of Oregonians increased from 78.1 years in 2000 to 79.6 years in 2010 and remained steady. Life expectancy declined in the past five years to 78.8 years in 2021, partially attributable to higher death rates from COVID-19. Life expectancy is forecast to increase to more than 79 years by 2030.⁷

Table 3-5
**City of Aumsville compared to Marion County
 Age Groups as a Percentage of Population**

Age Ranges	City of Aumsville 2021		Marion County 2021	
0 to 5	216	5.2%	21,987	6.4%
5 to 14	775	18.4%	48,124	14.0%
15 to 24	750	17.8%	45,739	13.3%
25 to 34	514	12.3%	47,971	13.9%
35 to 44	711	17.0%	44,863	13.0%
45 to 54	535	12.8%	40,241	11.7%
55 to 64	476	11.3%	41,198	12.0%
65 to 74	111	2.6%	33,095	9.6%
75 and older	105	2.5%	20,819	6.0%
Total Pop.	4,193		344,037	
Median Age	31.2		37.0	

Source: US Census Bureau, 2021 American Community Survey 5-Year Estimate, Demographic and Housing Estimate, Table DP05.

The number of school age children has been declining in Oregon since 1980. This has been attributed to declining birth rates and fewer women of child-bearing age. This trend is expected to continue through 2045 when only 10-12%

⁷ **Oregon Demographic Trends 2023-2030**, Office of Economic Analysis, Department of Administrative Services, State of Oregon, staff presentation by state demographer Kanhiaya Vaidia, to the Oregon Legislature, House Committee on Revenue, March 8, 2023.

of Oregonians will be school age compared to 20% in 1980. The number of senior citizens (age 65+) will grow as the baby boomer generation reaches retirement age and life expectancy continues to rise.

3.3.2 Race and Ethnicity

According to the 2020 Census 25% of Oregonians belong to a minority race or ethnic group compared to 38% nationwide. State forecast anticipate increasing diversity in the overall racial and ethnic makeup of the population, with faster growth in the number of Oregon residents with Hispanic/Latino and Asian heritage. The U. S. Census Bureau’s 2021 American Community Survey 5-Year Estimate shows Aumsville’s and Marion County’s racial and ethnic makeup was less diverse than the state and nation, while Marion County’s population was more diverse.

Table 3-6
**City of Aumsville and Marion County
 Race and Ethnicity in 2019**

Race and Ethnicity	City of Aumsville	%	Marion County	%
Total Population:	4,193		344,037	
Population of one race:	3,858	92.0%	308,126	89.5%
White alone	3,570	85.1%	258,281	75.1%
Black or African American alone	NA		3,773	1.1%
Native American and Alaska Native	158	3.8%	3,399	1.0%
Asian	7	<1%	7,419	2.2%
Native Hawaiian & Other Pacific Islander alone	59	1.4%	3,607	1.1%
Other Race	64	1.5%	31,547	9.2%
Total	4,193		344,037	
Population of two or more races:	335	8.0%	36,011	10.5%
Ethnicity				
Hispanic or Latino	476	11.4%	94,523	27.5%
Not Hispanic or Latino	3,717	88.6%	249,514	72.5%

Source : U.S. Census Bureau, 2021 American Community Survey, Demographic and Housing Estimate, Table DP-05.

3.3.3 Education

Aumsville’s citizens, age 25 years and older, were more well educated in 2014 than they were in the year 2000. The number of Aumsville residents with a high school diploma or GED increased from 80.7% in 2000 to 87% in 2014. In addition, the percentage of Aumsville residents with advanced educational degrees also increased. In 2014, 10.5% of Aumsville’s residents had a bachelor’s degree or higher compared to 8.5% in the year 2000. Educational attainment by Aumsville residents’ lags the achievement levels of all residents of Marion County and the State of Oregon.

Table 3-7
Educational Attainment for Aumsville Residents
Persons Aged 25 years or older
Years 2010 & 2021

Educational Attainment	City of Aumsville		Marion County		State of Oregon	
	2010	2021	2010	2021	2010	2021
High school graduate or higher	89.8%	>95.0%	82.2%	89.4%	88.6%	91.5%
Bachelor's degree or higher	9.2%	7.4%	20.9%	23.2%	28.6%	36.5%

Source: U.S. Census Bureau, 2010 and 2021 American Community Survey 5-Year Estimate, Table S-1501.

Exhibit C



City of Aumsville

David W. Kinney

Planning Consultant for the City of Mill City

791 E. Hollister St., Stayton, OR 97383

Office: (503) 769-2021 Cell: (503) 551-0899

Email: dwkinney@wvi.com

October 6, 2022

To: Ron Harding, City Administrator
Parks Advisory Committee

From: David W. Kinney, Community Development Consultant

In RE: Eastside Community Park Master Plan
Statewide Comprehensive Outdoor Recreation Plan

Oregon statewide planning Goal #8 "Recreational Needs" and the Oregon Statewide Comprehensive Outdoor Recreation Plan (SCORP) provide guidance to the community on local planning responsibilities for recreational facilities. The 2019-2023 SCORP provides research on recreation desires and needs of Oregonians and recommendations for making park improvements in local communities.

I. Statewide Planning Goal #8: Recreational Needs

The purpose of Goal 8 is "To satisfy the recreation needs of the citizens of the state and visitors, and where appropriate, to provide for the siting of necessary recreational facilities, including destination resorts." Local governments are required to plan for parks and recreational facilities in coordination with private enterprise, state and federal agencies. Oregon's small cities are encouraged to adopt a parks master plan that complies with statewide planning goal requirements. Proposed parks and recreational facilities should be planned for and developed in such quantity, quality and locations to meet the needs of local residents for a 20-year planning period.

Under Goal 8, the state recommends each city:

- inventory recreation needs,
- identify recreation opportunities,
- coordinate parks and recreation plans with other agencies,
- be consistent with the Statewide Comprehensive Outdoor Recreation Plan (SCORP),
- consider energy consequences of facility development, and
- encourage use of non-motorized recreational activities.

Local governments planning for the development of new parks and recreation facilities or redevelopment of existing facilities are encouraged to give priority to:

- recreation needs in high population areas,
- users with limited mobility and finances,

- maximize the conservation of energy in the transportation of people to parks and recreation facilities and also in the use of energy in the facility,
- minimize environmental deterioration,
- provide recreational facilities to the public at nominal costs, and
- meet needs of visitors to the state.

Goal 8 encourages local governments to adopt measures to finance and acquire park and recreation facilities. Cities are encouraged to take into consideration various techniques for land acquisition including, but not limited to, fee simple site acquisition, conservation easements, development rights acquisition and subdivision park land dedication. The adoption of the Eastside Community Park master plan will enable the City to effectively compete for grants from the Oregon Parks Department, Oregon Department of Transportation and private foundations.

II. Statewide Comprehensive Outdoor Recreation Plan (SCORP)

OPRD has a key role in planning, conducting research and providing guidance to local governments and private recreation providers on contemporary parks issues. The SCORP is Oregon's five-year plan for outdoor recreation. It enables Oregon to qualify for funding from the Land and Water Conservation Fund (LWCF), a federal program established in 1964 to create parks, preserve open spaces and wildlife habitats, and enhance recreational opportunities. The LWCF allots federal grant money to states, which in turn, provides grants to local parks and recreation agencies. To qualify for an LWCF federal appropriation, a state must complete a SCORP study every five years. The plan also provides guidance for other OPRD-administered grant programs including the Local Government Grant, County Opportunity Grant, Recreational Trails Grant and Heritage Grants.

2.1 SCORP Research and Findings

In 2019, OPRD released the 2019-2023 SCORP. It includes a wealth of research data about the recreational activities, desires and needs of Oregonians. The 2019 SCORP summarizes societal and demographic changes which have occurred in the recent decade and will face Oregon recreation providers in the 2020's. The SCORP describes how Oregonians use parks and recreational facilities and reviews national and statewide recreation trends. The 2019-2023 SCORP recommends local recreation providers adapt to four significant trends on how Oregonians recreate and use public parks facilities. Those trends are:

- (1) Oregon's rapidly aging population will generate different demands on parks and recreation facilities;
- (2) Oregon is becoming increasingly diverse;
- (3) Youth are becoming less engaged in outdoor recreation;
- (4) There is a significant underserved low-income population throughout the state; and
- (5) Oregonians need to take advantage of the health benefits of physical activity that are available when people participate in outdoor recreation activities.

The 2019 SCORP includes results of a variety of surveys and data analysis reports on outdoor recreation use and societal trends. A 2017 Oregon State University survey of a random sampling of Oregonians (*Oregon Resident Outdoor Recreation Survey*) provides a plethora of data on how Oregonian recreate and use local, state and federal recreation facilities. A 2018 Oregon Parks and Recreation Provider Survey surveys recreation providers from

throughout the state identifies a list of park facility improvement priorities and funding needs from agencies around the State of Oregon.

The Oregon Parks and Recreation Department has published “*A Guide to Community Park and Recreation Planning for Oregon Communities*”. The planning guide plus information in the 2008, 2013 and 2019 SCORP documents provide guidance to local governments on parks facility standards, development and maintenance of sustainable parks and a tool-kit for the development of local parks and recreation facility plans.

Oregon Outdoor Recreation Trends

1. Oregon’s population is rapidly aging.

In 2020, more than 23% of Oregon’s population was age 60 or older. By the year 2030, more than 27% will be over age 60. U. S. Census shows the percentage of seniors (age 65+) has steadily increased from 13.9% in 2010 to 18.2% in 2020.¹ With an aging population comes health and economic challenges. Parks and recreation providers play a key role in providing opportunities for senior citizens to maintain good health, through such activities as walking, biking or active participation in outdoor leisure sports and recreational programs.

*In 2030,
27% of Oregon’s population will be
60 years of age or older.*

*Seniors have a strong desire
to stay physically active and
engaged with their community.*

The 2019 SCORP report presents several findings regarding the recreation activities and needs of senior citizens. Although recreational activities decrease with age, seniors have a strong desire to stay physically active and engaged with their community. The 2017 Oregon Resident Outdoor Recreation Survey solicited data on two aging population categories “young old” (ages 60-74) and “middle old” (ages 75-84) to discern the levels and types of recreation activities these Oregonians participate in. Over 92% of respondents stated they participated in at least one outdoor recreation activity. The responses identified the following as the most popular activities for “young old” respondents (ages 60-74).

Popular Recreation Activities for “young old” Oregonians (Ages 60-74), with % participating:

1. Walking on local streets & sidewalks (75%).
2. Sightseeing, driving or motorcycling for pleasure (63%)
3. Walking on local trails or paths (63%)
4. Beach activities – visiting the ocean (51%)
5. Visiting historic sites / history themed parks / history-oriented museums, visitor centers (49%)
6. Relaxing, hanging out, escaping heat/noise (45%)
7. Picnicking (44%)
8. Walking, day-hiking on non-local trails and paths (43%)
9. Attending outdoor concerts, fairs, festivals and events (43%)

¹ *Oregon Demographic Trends*, Office of Economic Analysis, Oregon Department of Administrative Services, State of Oregon, December 2012 and U. S. Bureau of the Census, American Community Survey, Annual Estimates of Resident Populations, 2010 and 2020.

10. Taking your children / grandchildren to a playground (36%)

As part of the survey, seniors in both age ranges were asked to identify barriers to participation in outdoor recreation and to recommend priorities which would increase their participation in outdoor recreation within their communities. The surveys provide clear guidance for community leaders who provide “close-to-home” recreation opportunities in local parks:

- Provide more and cleaner restrooms.
- Provide bark chip, dirt or soft walking trails and pathways in local parks, with benches along the way.
- Add picnic areas and shelters for small visitor groups.
- Provide safe access to waterways, nature & wildlife viewing.
- Safety is a priority – open views, good lighting and security enhancements to parks are desired.

These responses are consistent with prior statewide outdoor recreation surveys summarized in the 2008 and 2013 SCORP reports. Survey respondents want clean and well-maintained parks, walking/hiking trails close to home, and free-of-charge recreational opportunities. Retirees are also willing to volunteer their time and expertise, but are not always sure how or where they can volunteer in the local community.

Local parks and recreation agencies can provide facilities which enable older Americans to stay physically active and provide opportunities for citizens to volunteer their time. Studies show that volunteering helps older adults maintain physical and mental health. More effort is required to convey information to senior citizens about close-to-home volunteer opportunities.

2. Oregon is becoming increasingly diverse.

The share of Oregon’s population that is Hispanic, Asian, and African-American was projected to grow from 13% in 2000 to 22% in 2020. SCORP research has shown that non-white groups are less likely than whites to participate in outdoor activities and forego the many health and social benefits that outdoor recreation can offer. Non-whites also are less physically active and have a higher incidence of obesity than White Oregonians.

As the minority populations grow in number, there is a need for a greater understanding of the factors that limit the number of Hispanic, Asian, and African-American community members who visit park and recreational facilities. The SCORP study included surveys mailed to a random sample of Hispanic and Asian households to gather information about the respective group’s recreational needs and concerns. The factors that led to spending fewer days participating in outdoor activities than whites were lack of information (such as knowledge of age/gender-appropriate programs), safety concerns, and the costs to participate. The surveys do show an interest in outdoor recreation if these constraints were overcome. A 2017 survey focused on Hispanic and Asian respondents found these groups use local parks more frequently than county, state or federal parklands. They participate in similar activities including walking on local streets and trails, hanging out with friends, picnicking, going to the beach and attending outdoor events.

OPRD conducted focus groups that centered on the opportunities and constraints of increasing outdoor activity among non-white groups. OPRD recommendations to local governmental and recreational agencies are:

- a. Develop local parks with more walking trails and improved walking routes to/from home.
- b. Provide recreational facilities large enough to host extended families. This is especially important for picnic facilities.

- c. Recruit a diverse staff and establish relationships with trusted community leaders that can help enhance awareness of regional opportunities to respective groups.
- d. Include non-English languages in pamphlets and websites to target Oregon's diverse population.

3. Fewer Oregon youth are learning outdoor skills and are less engaged with outdoor recreation.

Although Oregon has abundant natural resources and opportunities to recreate outdoors, youth are gravitating towards an indoor virtual reality, whether from surfing the Internet, using social media, or playing video games. Compared to prior studies, the 2013 and 2019 SCORP data shows participation in outdoor recreation opportunities such as camping, fishing, and hunting has dramatically decreased. National and statewide surveys forecast this trend will continue. Health professionals agree it is important for youth to be engaged in outdoor activity. Research has shown that adults have a greater chance of being physically active in adulthood if they participated in outdoor recreation when they were young.

Parent and youth surveys conducted as part of SCORP study revealed parents believe their children should spend more time outdoors. The study found there are certain factors that limit youth participation in outdoor activities: lack of information about available recreational opportunities and the cost to participate (especially for low-income families). The survey of Oregon's youth found they are most interested in being able to play outdoor field games, followed by biking and camping. Oregon's youth are aware the state has extensive year-round outdoor recreation opportunities and expressed a desire for more opportunities to play or recreate outdoors in small groups or with friends. Recreation activities of interest ranged from fishing, hiking and river tubing in the summer to skiing and sledding in the winter. Despite the expressed interest, actual participation rates in these outdoor activities continue to decline.

2013 SCORP data shows youth participation in outdoor recreation opportunities such as camping, fishing, and hunting has dramatically decreased over the past 30 years.

The SCORP concludes providing fun and engaging outdoor activities to Oregon's youth will help to reestablish a foundation that has been symbolic to Oregon's history. Active involvement in outdoor recreation builds a personal connection between the individual and the environment that grows more important as the individual grows older. To help reverse the declining levels of youth participation in outdoor recreation activities, public and private parks and recreation providers need to develop opportunities that draw families and youth out of homes and into nature.

The SCORP offers several recommendations to local and regional recreation agencies:

- a. Inventory the local private, non-profit, and governmental family and youth facilities/programs and assess whether they are appropriate for today's youth.
- b. Develop relationships with the above facilities/programs to ensure they are running at their highest potential. It is possible that more information is needed to increase awareness about the opportunities, including low-cost or free options that all families can afford. Extol the importance of developing outdoor skills and maintaining physical activity.
- c. Strive to make sure outdoor public spaces are safe for youth and families.

The 2019 SCORP makes several recommendations to Oregon's local park providers. LWCF and Oregon Local Government Grant Program funds will make grant awards to communities which make improvements encourage youth and family involvement with nature. In Sublimity, play areas that encourage children, youth and families to

interact with their natural environment should be high priorities and should be consistent with the following statewide priorities.

- Develop “Natural Play Areas” in neighborhood and community parks. Play areas built with natural materials and integrated into the environment encourage creative play and an appreciation for nature.
- Incorporate playground elements that are accessible to children and youth with disabilities.
- Provide bark chip, dirt or soft walking trails and pathways.
- Provide children’s playgrounds and play areas with manufactured structures.
- Add more restrooms.
- Provide access to waterways, nature & wildlife viewing.

In summary, the SCORP surveys conclude close to 100% of Oregon families participate in outdoor recreation activities. Because “Close-to-home” parks and natural areas are accessible to most Oregonians, Oregon’s small cities are well-positioned to enhance their neighborhood and community parks and enable their citizens to connect with their natural environment.

4. Oregon residents with low incomes are underserved.

Oregon’s low-income populations are less likely to use public parks and recreation facilities than other residents of the state. A National Parks and Recreation Association survey also finds low- and moderate-income families have less access to nearby parks and recreation sites. A 2017 survey of low-income Oregonians found 89% participated in at least one outdoor recreation activity; activities were similar to other Oregonians with walking, hanging out, sightseeing and picnicking being the top activities. 80% of respondents stated it was important to have a local park within a 10-minute of less walking distance from their home.

The SCORP concludes local park providers need to provide “close-to-home” parks and recreation facilities within walking distance for all residents and make their parks accessible to all residents of the community.

5. More Oregon residents need to take advantage of the health benefits of physical activity.

Oregon’s population has become unprecedentedly obese. This can be correlated with the declining rates of physical activity. Health effects from obesity are significant; overweight and obese individuals have a higher incidence of chronic diseases such as coronary heart disease and Type-2 diabetes. The health costs of being physically inactive and not maintaining a good diet are not just limited to physical well-being, as mental illnesses such as depression have increased as well. These findings are given a firmer foundation when it is noted that a greater number of Oregonians (56%) are physically active and have lower rates of chronic diseases than sedentary adults (44%).

There is good news in the SCORP findings that counteract the national and state trend towards increasing physical malaise. The study reports that *“Public facilities such as trails, swimming pools and parks that are conveniently located have been found to be positively associated with vigorous physical activity in a number of studies, among both adults and children.”*

Regions of the state that have more hiking or urban trail miles per household had higher rates of physical activity among the local population. This finding was from an October 2007 report from Oregon State University,

“Health and Recreation Linkages in Oregon: Physical Activity, Overweight, and Obesity”. The report states health benefits accumulate quickly as the movement towards physical activity begins, and even obese residents who maintain levels of activity have lower morbidity and mortality than normal weight individuals who have a lower physical activity regime.

The state encourages local parks and recreation providers to focus on providing recreational facilities that can positively influence increased physical activity to the population, in order to help decrease rising obesity and health costs in Oregon. One of the roles a small city can play is to support an environment that is healthful to residents and visitors and limits stress-inducing factors that beleaguer the population. Local plan policies may:

- a. Promote physical activity by developing pedestrian and bicycle paths through local parks and open space that are close to home.
- b. Develop a variety of recreation facilities, equipment and features to entice various users to use local parks as a destination, no matter the occasion or circumstances.
- c. Market to at-risk groups. Provide information on the presence of existing trails, parks and recreation facilities and promote the health benefits of regular outdoor exercise.

These trends reflect how Oregon continues to change. It is important for the *Sublimity Parks Master Plan* to bring into focus how the City can aid in solving inherent challenges that come with an aging population, declining youth outdoor activity, diversifying demographics, and rising rates of obesity.

2.2 2019-2023 SCORP “RESPONDING TO DEMOGRAPHIC AND SOCIETAL CHANGE”

In 2018, OPRD adopted a new five year Statewide Outdoor Recreation Plan entitled *“Ensuring Oregon’s Outdoor Legacy.”* The 2019-2023 SCORP is the current five-year plan for Oregon outdoor recreation. The plan provides an overview of the role and responsibilities of federal, state, and local providers of recreational facilities and services. Local providers are identified as county, municipal, special district, school and private sector.

The SCORP states the mission of local recreation providers should be to provide natural areas, parks and recreation facilities, services and programs to meet the needs of the population it serves.

The City of Aumsville does not have the staffing and resources to provide extensive year-round recreation programs and services. Over the past five years from 2017-2022, the City of Aumsville has made significant improvements to the city’s public parks. The City Council, city hall administration and public works department have committed to providing quality parks and outdoor recreation facilities such as walking trails, picnic shelters, restrooms, water park and playgrounds in the city’s neighborhood parks and community parks.

The 2019-2013 SCORP provides survey data on outdoor recreation use by Oregonians and recent recreational trends. Based on the data, the SCORP provides policy guidance to the state’s recreation providers on how to plan for and address recreational needs of Oregonians in the next ten years. It recommends cities and counties adopt park and recreation plans and policies that address Oregon’s current recreational needs and identified priorities. The SCORP - *“Responding to Demographic and Society Change”* can be found at the OPRD website:

<https://www.oregon.gov/oprd/PRP/Documents/SCORP-2019-2023-Final.pdf>

During the preparation of the 2019-2022 SCORP, OPRD surveyed a random sample of Oregonians to identify their recreational activities and priorities and then tabulated the results on both a statewide and a county-by-county

basis. Survey respondents identified the values and benefits of services delivered by Oregon’s park and recreation providers. The highest rated values and benefits were: (1) improving physical health and fitness, (2) making the local community a better place to live, and (3) preserving open space and the environment.

1. Marion County Survey Results

OPRD surveyed public recreation providers and Oregon residents in 2011. Two survey instruments were used for recreation providers: the first survey was for entities which provide recreational facilities and services inside urban growth boundaries and the second survey for agencies that provide recreational facilities and services in rural areas. Agencies were asked to identify the highest priority needs for funding “close to home” recreation facilities during the next five years.

Oregon residents were asked a similar question. Residents were asked to rate 21 recreational priorities using the question: *What should park and forest agencies invest in? For each of the following amenities [21 were listed], please indicate the level of priority for future investment.* Both surveys used a rating of 1 to 5, with a rating of 5.0 indicating a high priority and 1.0 indicating a low priority. The following table shows the compilation of results of the highest priorities for Marion County and for Oregon residents who live in suburban communities.

Table 2-1
2018 SCORP Survey Results
Recreational Facility Priorities

Public Recreation Provider Survey Marion County Needs		Oregon Resident Survey Statewide Suburban Need Results	
Close to Home Priorities	Score	Needed Recreation Facility	Score
Children’s playgrounds and play areas built with manufactured structures like swing sets, slides and climbing apparatus.	4.17	Soft surface walking trails and paths	3.78
Acquisition of park land for developed recreation	3.8	More restrooms	3.61
Picnicking / day use facilities	3.7	Children’s playgrounds and play areas made of natural materials (logs, water, sand, boulders, hills and trees)	3.52
		Nature and wildlife viewing	3.52
		Public access sites to waterways	3.46

2. Key Statewide Issues Facing Parks and Recreation Providers: Funding and Sustainability

A key finding of the 2013-2017 SCORP is that “*Funding maintenance of existing parks and recreation facilities and funding for the construction and development of new parks and recreation facilities*” poses a major challenge to local parks and recreation providers. Parks and recreation providers and OPRD identified the following issues confronting them during the next ten years:

- a. Provide adequate funds for routine and preventative maintenance.
- b. Fund major rehabilitation of parks and recreation facilities at the end of their useful life.
- c. Add recreational trails and trail connectivity between parks and communities.

- d. Recognize and strengthen park and recreation role in increasing physical activities in Oregon's population.
- e. Recommend a standard of sustainable park practices for outdoor recreation providers.

OPRD used these issues to develop application and funding guidelines for its grant programs including the Local Government Grants Program and Recreational Trails funding programs. As cities look at their existing park facilities and plan for future park improvements, they will be expected to incorporate best management and sustainable management practices so that they can continuously maintain high quality park facilities.